

Gage Inspection Services

Property Inspection Report



226 Alderbrook Dr, Santa Rosa, CA 95405
Inspection prepared for: Brittany/Scott Westerman
Real Estate Agent: Mary Hauffer - Sothebys

Date of Inspection: 8/14/2018 Time: 12:00 PM
Age of Home: 1947 Size: 1770
Order ID: 163


Inspector: Scott Gage
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Gage Inspection Services

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Site concrete and paving		
Page 16 Item: 1	Driveway/Parking	<p>Attention There is cracking at the concrete driveway. Though still functional the concrete areas should be monitored for further distortion and repaired or replaced as necessary to eliminate tripping hazards</p>
		
<p>Cracking concrete at driveway.</p>		
Page 16 Item: 2	Walkways	<p>Attention There is cracking at the concrete sidewalks. Though still functional the concrete areas should be monitored for further distortion and repaired or replaced as necessary to eliminate tripping hazards. Patching uneven concrete walkways can help prevent potential tripping hazards.</p>



Cracking at concrete walkways.

Uneven concrete walkway.

Exterior Structure

Page 17 Item: 9	Double Pane Seals/Insulating Windows	<p>Maintenance There is a double pane insulating window that have lost the vacuum seal between the panes of glass. The location is in the dining area. The conditions is identified by signs of fogging, a halo effect or condensation build up between the panes of glass. Recommend contacting a glass company for complete window evaluation and estimates for replacement. The deficiency on any other windows is sometimes only visible under certain climatic conditions. There are multiple older single pane windows in the home.</p>
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Structure Perimeter Exterior

Page 19 Item: 9	Vegetation Clear From Structure	<p>No There is vegetation growing up against the exterior surface material. All vegetation should be trimmed at least 6-12 inches away from the structure to eliminate a common avenue for pest infestations or any damage to the exterior structure material.</p>
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Fence/Gates

Page 21 Item: 1	Fences	<p>Attention Though upright at the time of the inspection the fencing is leaning at the side of the home. Future repair/replacement may will be needed. Contact the appropriate specialist for evaluation/repairs.</p>
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Leaning fence at left side of home.

Garage

Page 22 Item: 10	Door(s) Garage-Building	<p>Maintenance</p> <p>The door from the interior of the home to the garage is not a fire rated door. Recommend replacing with a 20 minute self closing fire rated door as a health and safety consideration.</p>
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Roof

Page 23 Item: 4	Debris on Roof	<p>Yes</p> <p>There is debris on the roof. Leaves, branches, and other material should be removed at some time in the near future. The debris can clog valleys, gutters, down spouts and or drains and cause roof leaks. Debris can hold moisture that can cause damage to the roof system if large accumulations develop. Debris should lbe cleaned off the roof surface on an annual basis as a proper care and maintenance recommendation.</p>
Page 23 Item: 9	Flashings/Caulking	<p>Attention</p> <p>There are some exposed fasteners at the roof top flashings. It is recommended to keep these areas properly caulked and sealed to prevent potential leaking points. Contact a qualified roofing contractor for evaluation/repairs.</p>



Seal exposed fasteners at roof top flashings.

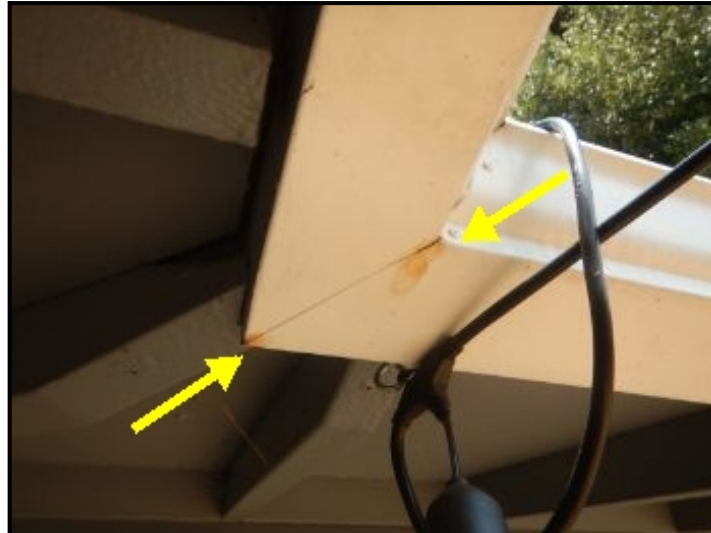
<p>Page 24 Item: 11</p>	<p>Gutters/Downspouts</p>	<p>Attention</p> <p>There is debris build up in the gutters that should be removed. Debris can clog the gutters, down spouts and drain system if not cleaned out. cleaning the gutters on an annual basis is recommended for proper care and maintenance of the gutter system.</p> <p>There are downspout that are draining at the foundation perimeter which can allow for water penetration into the crawl space. Recommend installing drain pipe extender or splash blocks to help divert water away from the structure.</p> <p>There is moisture staining at the gutter seam at the rear deck indicating leaking . It is recommended to caulk and seal the interior seams as needed to properly protect the structure and maintain intended drainage.</p>
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Run downspouts away from the home.



Debris build up in gutters.



Staining at corner gutter seam.

Electrical

Page 28 Item: 7

Breaker Configuration

Attention

The main electrical panel is a Zinsco brand panel. Several reports of failure over time with this equipment has been report. Failures include excessive corrosion and loose connections at the bus bar. Many times there are poor breaker connections which can lead to arcing or sparking. We suggest consulting with a qualified and licensed electrician on this issue.

There is a Federal Pacigic Stab Lok brand panel in the garage. Due to the obsolete brand and history of past failures upgrading the panel is recommended. Contact a qualified electrician for evaluation/recommendations.



Zinsco panel installed.



Federal Pacific panel installed.

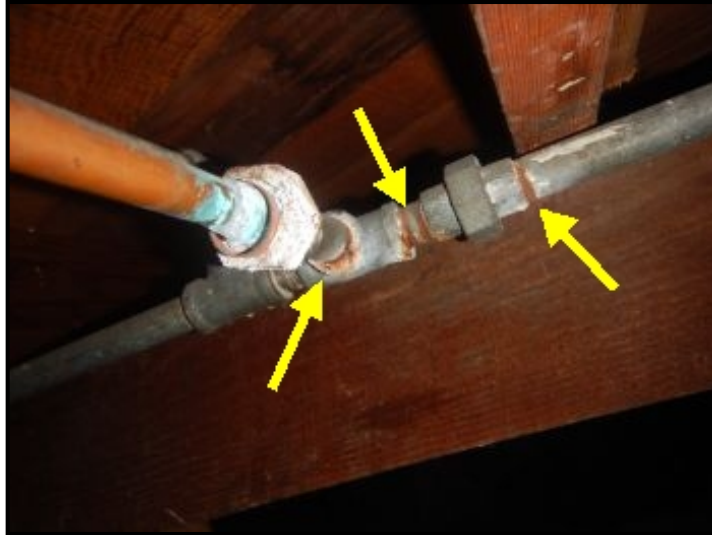
Page 28 Item: 9	Receptacle Ground Verify	<p>Attention There are two prong receptacles in the home. Two prong receptacles are not grounded due to a two wire circuit: some three prong receptacles are not grounded as well. This is a common condition to homes of this age. For more information about grounding receptacles contact a qualified electrician for evaluation.</p>
Page 28 Item: 10	GFCI Protection	<p>Maintenance Due to the age of the home there are no GFCI outlets installed at the home except for the newer addition. It is recommended that ground fault interrupters (GFCI) be located in areas where there is a potential danger of electrical shock areas such as the kitchen, bathrooms, garages, and exterior.</p>
Page 28 Item: 12	Outlets, Switches, Junction Boxes, Lighting	<p>Maintenance All damaged or missing cover plates should be replaced with new cover plates to restore proper function and reduce the risk of electrical shorts and hazardous shocks. There are various missing cover plates in the living room and master bedroom/bathroom.</p>



Missing cover plates at various areas.

Plumbing

Page 30 Item: 6	Encrustations Evident	<p>Yes Encrustations (visible buildup of deposits) on the exterior of galvanized plumbing is an early indication of a developing deterioration of the pipes. Contact a qualified plumbing contractor for evaluation/recommendations.</p>
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Encrustations at older galvanized plumbing.

Page 31 Item: 8	Evidence Of Leaks	<p>Yes The inspector has found evidence of a plumbing leak. We advise the use of a qualified plumbing contractor to make final determination of the cause and to provide estimates for repairs. Location of the leak was a drain line in the sub area under the deck.</p>
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Leaking at shower drain line.

Fireplace

Page 35 Item: 1	Solid Fuel/Gas Logs/Gas Appliances	<p>Maintenance There is deterioration to the mortar joints at the interior of the fireplace. Before use we recommend contacting a qualified chimney specialist for evaluation/repairs.</p>
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Deterioration of mortar joints at interior of fireplace.

Page 35 Item: 3

Exterior Chimney Condition

Maintenance

There is cracking at the mortar joints of the chimney at the roof top. Recommend contacting the appropriate specialist for evaluation/recommendations.



Deterioration of mortar joints at chimney.

Bedrooms

Page 41 Item: 1

Floors

Attention

Moisture staining was noted in the master bathroom closet which is behind the shower area. The staining appears older and no major adverse conditions were noted. We recommend monitoring this area to determine if repairs are needed.



Moisture stains noted in bedroom closet.

Bathrooms

Page 42 Item: 2	Floors	<p>Attention There is moisture staining to the vinyl flooring in the master bathroom indicating past moisture intrusion. When tested with a moisture meter high levels of moisture was noted. No apparent damage was obvious. Measures should be taken to keeping the floors properly caulked and sealed to prevent potential damage.</p>
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Suspect moisture intrusion under bathroom floor cover.

Page 43 Item: 9	Water Resistant Wall Cover	<p>Maintenance There are grout voids and cracked tiles around the hallway bathroom shower wall and caulking voids around the master bathroom shower wall. This is a condition that can allow for potential moisture intrusion. Repairs are advised to prevent potential moisture intrusion.</p>
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Holes at tile shower wall.

Grout voids/damaged tiles at shower wall.



Damaged tile at shower wall.

Page 43 Item: 10

Caulking Water Exposed Areas

Attention

There are gaps between the tub spout and shower walls exposing areas of potential moisture intrusion. it is recommended to caulk and seal these areas as a preventative measure. These areas should be inspected and touched up on a regular basis as part of preventative home maintenance.



Caulk and seal around tub spout.

Page 45 Item: 20

Counters

Maintenance

There are caulking/grout voids noted at the master bathroom counter top. Recommend re-sealing these areas to prevent moisture intrusion.



Grout voids at bathroom counter top.

Water Heater

Page 46 Item: 9

Venting

Attention

There are no screws securing the water heater flue to the flue hood. Industry standard require three screws on the water heater flue to secure the flue hood correctly. Contact a qualified plumbing contractor for evaluation.



No screws installed at flue/flue hood.

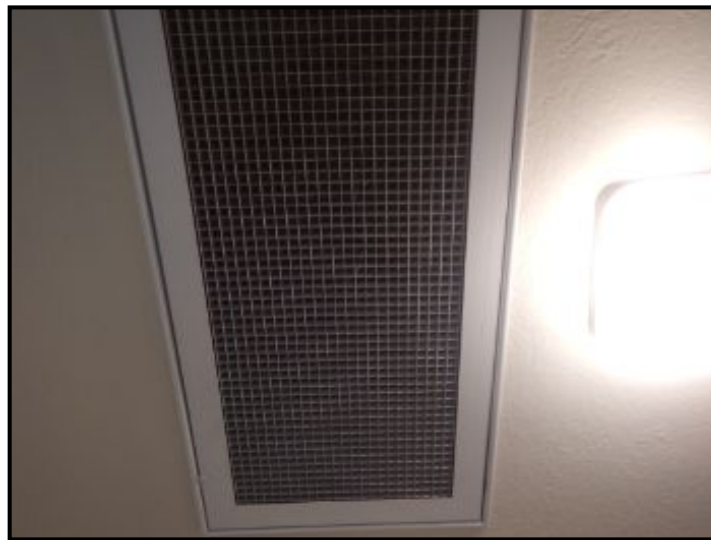
Heating System

Page 48 Item: 8

Filter Condition

Attention

The furnace filter is in need of changing. This can restrict proper airflow and reduce the efficiency of the system. The inspector recommends changing or cleaning the filter on a regular basis as needed.



Replace air return filter.

Attic

Page 52 Item: 12

Rodent Activity

Yes

There is evidence of rodent activity in the attic. It could not be determined if this is a current active issue or not. Recommend contacting the appropriate pest control company for evaluation/recommendations.

Inspection Details

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

1. Weather

Sunny

2. Attendance

Client Present
Selling Agent Present

3. Occupancy

Occupied-Furnished

Access to some itmes such as: electrical outlets/receptacles, windows, wall/floor surface, and cabinet interios may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

4. Description

Wood framed

1)The inspector as a part of the inspection, is NOT required to determine installation guidelines, structural calculations, unstable geological conditions, presence of any hazardous material such as lead and asbestos, manufacturers specifications (or recalls) and building codes, or detect the presence of Chinese Drywall or its potential problems, outbuildings, septic systems and or sewer pumps, well systems/alternative water systems or water quality testing, solariums, the presence of wood destroying organisms or fungal rot, condition of floor coverings, conditions relating to animals, rodents, or other household pets or the damage caused therby, cosmetic items, including without limitation, paint, scratches, scrapes, dents, cracks, stains or faded surface, remove appliances, remove insulation, operation of window coverings, operation of free standing appliances, automatic window coverings, inspect furnace heat exchangers, radiant/hydronic heating systems or specialized heating systems, sauna/steam bathroom function, music systems, central vacuum funtion, structural engineering calculations or deficiencies, unstable geological conditions or soil contamination, solar system function and or alternative power source. This is a visual non-invasive inspection as per industry standards. We cannot assume responsibility for hidden latent defects or quality of workmanship. Please carefully read all transfer disclosures as the inspector does not have or is required to have access to transfer disclosures, current or past litigation issues and any previous inspection reports. Gage Inspection Services reserves the right to review any visual defect not disclosed in this inspection withing the standard of practice prior to repair. If repairs are performed on alleged items not included in this report prior without notifying this insepction company for evaluation

2)Some bio-organic organisms (molds) are known to produce toxins that produce toxic responses with sufficient exposure. Structure toxic bio-organic detection and testing is NOT within the scope of this home inspection as Gage Inspection Services is not a certified professional bio-organic expert and or industrial hygienist. If parties of interest desire information contact a qualified industrial hygienist prior to the end of the contingency/inspection period.

3) All conditions in this inspection report are as of the time and day of the inspection. The home inspection is performed withing the scope of the ASHI standards of practice. Please review the Standards of practice at www.ASHI.org.

5. Approx. Year Built

Refer to disclosures.

6. Floors

1

7. Bedrooms

3

8. Bathrooms

3

9. Other Rooms

LR/FR

10. Smoke Detectors

Yes

There are smoke detectors installed. Recommend testing the system prior to occupying the home and every month to identify functional operation of the detectors. If applicable, tall ceiling height installation may not be accessible for testing. The national fire protection association recommends that a CO alarm should be centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms. For added protection, install additional CO alarms in each separate bedroom prior to occupancy.

11. Carbon Monoxide

Present

The inspector noted the presence of one or more carbon monoxide (CO) detectors inside the structure. The detectors were tested, and found to be functional at the time of the inspection. The detectors are battery operated and the inspector recommends replacing the batteries in all the units when the buyer takes possession of the property. Testing the units routinely and/or every month to identify functional operation is also recommended.

12. Furniture Storage

Average

The inspector is not required to move furniture, personal, or stored items; lift floor coverings, or panels; or perform any test or procedures which could damage or destroy the item being evaluated. The determination of or damage caused by termites, any wood damage insects or organism is excluded. Gage Inspection Services is not a state licensed pest control company.

13. Floor Structure

Floor joists

14. Ceiling Structure

Wood framing
Wood trusses

15. Roof Structure

Roof rafters

16. Interior Stairway Structure

NA

Site concrete and paving

1. Driveway/Parking

Attention

There is cracking at the concrete driveway. Though still functional the concrete areas should be monitored for further distortion and repaired or replaced as necessary to eliminate tripping hazards

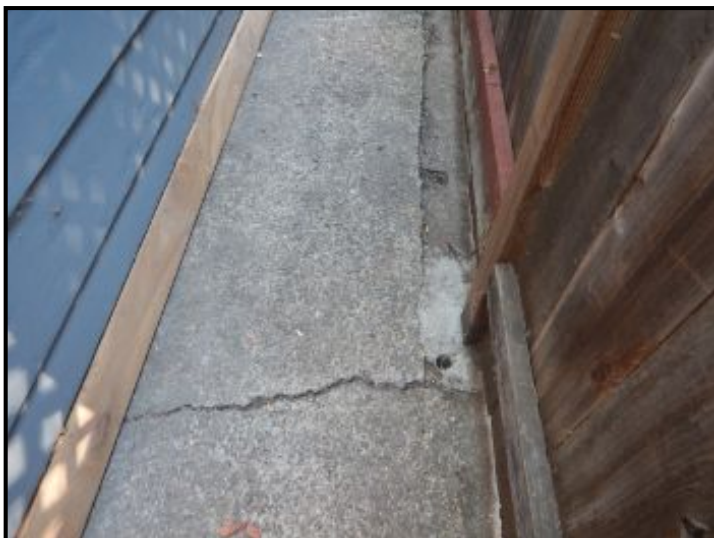


Cracking concrete at driveway.

2. Walkways

Attention

There is cracking at the concrete sidewalks. Though still functional the concrete areas should be monitored for further distortion and repaired or replaced as necessary to eliminate tripping hazards. Patching uneven concrete walkways can help prevent potential tripping hazards.



Cracking at concrete walkways.



Uneven concrete walkway.

3. Steps

Functional

Exterior Structure

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, the stoops, steps porches and their associated railings, any attached decks and balconies and eaves, soffits and fascias accessible from ground level.

1. Siding Material

Wood

Under-lying flashings to prevent moisture intrusion cannot be observed. Water testing and invasive inspection is not within the scope of this inspection. Refer to owner or disclosures for any issue with moisture intrusion if any.

2. Siding Condition

Satisfactory

3. Painted Surfaces

Satisfactory

It is recommended to maintain the exterior pain on the siding material to prevent damage and maintain a pleasing look.

4. Window Glass

Functional

5. Caulking/Structure

Satisfactory

Touching up the structure caulking around the tops and sides of the windows and door trim should be performed yearly as a part of routine maintenance. The caulking keeps rain water from penetrating behind the siding material and causing premature deterioration of the material.

6. Eave/Soffit Areas

Satisfactory

7. Fascia Boards/Trim

Satisfactory

8. Window Screens

Attention

There is a missing window screen in the master bathroom. Recommend referring to the seller.

9. Double Pane Seals/Insulating Windows

Maintenance

There is a double pane insulating window that have lost the vacuum seal between the panes of glass. The location is in the dining area. The conditions is identified by signs of fogging, a halo effect or condensation build up between the panes of glass. Recommend contacting a glass company for complete window evaluation and estimates for replacement. The deficiency on any other windows is sometimes only visible under certain climatic conditions. There are multiple older single pane windows in the home.



Lost seal at window.

10. Address Identification

Satisfactory

11. Watering System

Not tested

If installed, sprinkler and related irrigation systems are not within the scope of a home inspection.

12. Retaining Walls

Functional

Structure Perimeter Exterior

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building.

1. Foundation Material

Concrete

2. Vent Screens

Functional

3. Visible Cracks

Yes

4. Evidence of separation over 1/4"

No

The visual inspection of the exterior of the foundation did not reveal cracking in the foundation system with openings in excess of 1/4" in separation

5. Evidence of movement

Yes

Interior wall board cracking, and uneven sloping floors at the interior of the home is an indication of structure/earth settlement

6. Site Drainage

Nearly flat

The site property appears to be nearly flat. There may be areas of ponding water during the winter months. Home owner is advised to monitor the exterior and sub are if applicable during the winter months and perform any drainage maintenance necessary. It is recommended to provide and maintain positive fall/slope away from the perimeter foundation. Parties of interest should inquire with the owner and review the transfer disclosure as to any past or current drainage issues.

7. Evidence of erosion

No

8. Proper earth/wood clearance

Yes

It is recommended providing at least 4-6 inches of clearance between the earth and wood siding material as a preventative maintenance measure.

9. Vegetation Clear From Structure

No

There is vegetation growing up against the exterior surface material. All vegetation should be trimmed at least 6-12 inches away from the structure to eliminate a common avenue for pest infestations or any damage to the exterior structure material.

Decks

1. Surface

Wood

2. Railings

NA

3. Steps/Handrails

Functional

4. Foundation/Framing

Not visible

5. Attachment Method

Not visible.

6. Flashing

Not visible

7. Cover

NA

8. Electrical Service

Yes

9. Weather Protective Cover

Functional

Fence/Gates

1. Fences

Attention

Though upright at the time of the inspection the fencing is leaning at the side of the home. Future repair/replacement may will be needed. Contact the appropriate specialist for evaluation/repairs.



Leaning fence at left side of home.

2. Gates

Functional

3. Locks/Latches

Functional

Garage

1. Size

2 Car

2. Garage Door

Functional

The garage door was tested and appears functional. Installation specifications are unknown and verification is not within the scope of this inspection.

3. Garage Door Seal

Functional

There is a garage door seal installed to help keep moisture and rodents out of the garage area.

4. Automatic Opener

Functional

The automatic garage door opener was identified to be in working order at the time of the inspection. Installation specifications are unknown and verification is not within the scope of the home inspection.

5. Springs/Mounts

Functional

Installation specifications is not within the scope of this inspection.

6. Safety Operation

Functional

7. Floor Foundation

Functional

Limited visibility due to storage of personal items.

8. Lighting

Functional

9. Firewall

Functional

The common wall/ceiling between the house and the garage appears to provide required fire wall conditions. There are areas of the firewall that may be inaccessible for visual inspection due to storage in the garage (if applicable).

10. Door(s) Garage-Building

Maintenance

The door from the interior of the home to the garage is not a fire rated door. Recommend replacing with a 20 minute self closing fire rated door as a health and safety consideration.

11. Moisture Penetration

No

Roof

1. Roof Cover Material

Combination

2. Roof Type

Pitched

3. Moss/Mildew

No

Any moss growth on the roof top should be treated and removed.

4. Debris on Roof

Yes

There is debris on the roof. Leaves, branches, and other material should be removed at some time in the near future. The debris can clog **valley**s, gutters, down spouts and or drains and cause roof leaks. Debris can hold moisture that can cause damage to the roof system if large accumulations develop. Debris should be cleaned off the roof surface on an annual basis as a proper care and maintenance recommendation.

5. Cover

1 Layer

6. Cover Material Condition

Functional

The roof cover material appears in serviceable condition showing the typical signs of wear for the age of the roof.

7. Ridges

Functional

8. Valleys

Functional

9. Flashings/Caulking

Attention

There are some exposed fasteners at the roof top flashings. It is recommended to keep these areas properly caulked and sealed to prevent potential leaking points. Contact a qualified roofing contractor for evaluation/repairs.



Seal exposed fasteners at roof top flashings.

10. Vents/Chimneys/Covers

Functional

11. Gutters/Downspouts

Attention

There is debris build up in the gutters that should be removed. Debris can clog the gutters, down spouts and drain system if not cleaned out. cleaning the gutters on an annual basis is recommended for proper care and maintenance of the gutter system.

There are downspout that are draining at the foundation perimeter which can allow for water penetration into the crawl space. Recommend installing drain pipe extender or splash blocks to help divert water away from the structure.

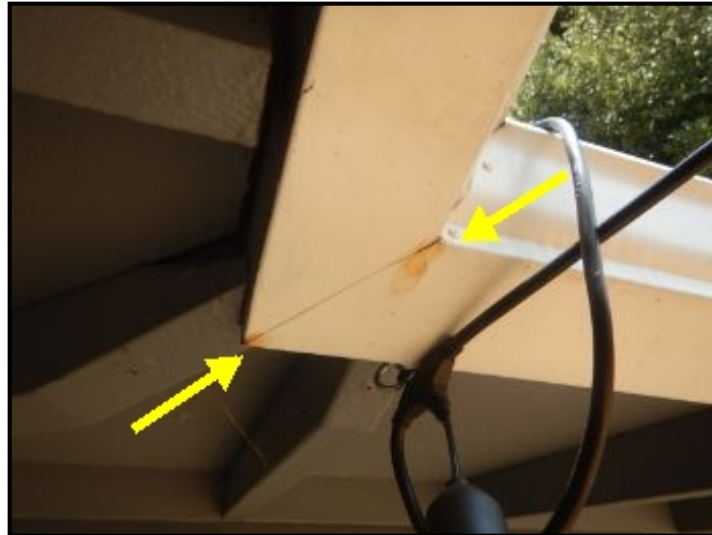
There is moisture staining at the gutter seam at the rear deck indicating leaking . It is recommended to caulk and seal the interior seams as needed to properly protect the structure and maintain intended drainage.



Run downspouts away from the home.



Debris build up in gutters.



Staining at corner gutter seam.

12. Indications of leaking

No

13. Soft Spots

No

14. Separate Certification Recommended

No

15. Roof Evaluated From

Walked roof surface

16. Skylights

No

Utility Services

1. Electrical Services

Overhead

2. Water Source

City

3. Water Meter Location

Sidewalk

4. Water Shutoff

Front of home

5. Sewer

City

Underground conditions are not within the scope of this inspection.

6. Sewer Clean Out Location

Sidewalk

7. Gas Service

Natural

No bonding wire was visible at the gas line near the meter. Ideally a bonding wire should be present, as it provides additional electrical safety should the pipes become energized.

8. Gas Odors Noted

No

Natural gas odors/leaks can occur at any time after the home inspection. If natural gas leaks occur contact P.G.&E for service. Carbon monoxide can occur any time after the home inspection. Gage Inspection Services is not liable for any issues arising after the home inspection from gas leaks or high levels of carbon monoxide not present at the time of the inspection. It is highly recommended to install carbon monoxide detectors in every living area of the home prior to occupancy.

9. Service Shutoff

At the meter. Home owner is advised to have a gas meter wrench nearby to shut the gas off in the event of an earthquake and gas odors are evident.

10. Vents/Exhaust

Satisfactory

11. Carbon Monoxide

Not tested

This building has fossil fuel and or solid fuel burning systems that have the potential to generate carbon monoxide. Carbon monoxide is a colorless, odorless gas that can cause serious injury or death. Testing for carbon monoxide (CO) is not within the scope of this home inspection. We recommend CO detectors be installed in the hallway, every bedroom/living area of the structure, according to manufacturers instructions prior to occupancy and that fossil fuel-fire/gas appliance be serviced prior to occupancy as per manufacturers instructions.

Electrical

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Panel/Sub Panel Locations

Exterior
Garage
Hallway

2. Service Size (Amps)

100 Amp

3. Over Current Devices

Breakers

Overload protection is provided by breakers for this structure. Know how to reset a circuit breaker. After turning off or unplugging appliances on the circuit, push the switch firmly to the off position, then back on. If the overload is cleared, the electricity will come back. If your circuit breakers trip off repeatedly, there could be a problem with the appliance on that circuit. If the appliances are unplugged but the circuit breaker trips off again, call an electrician. The inspector is not required to operate overload devices.

4. Panel To Structure

Copper/Aluminum

5. Panel Cover Removed

Yes

Due to storage of personal items the electrical panel cover in the garage was not removed.

6. Open Breaker Slots At Panel

No

7. Breaker Configuration

Attention

The main electrical panel is a Zinsco brand panel. Several reports of failure over time with this equipment has been report. Failures include excessive corrosion and loose connections at the bus bar. Many times there are poor breaker connections which can lead to arcing or sparking. We suggest consulting with a qualified and licensed electrician on this issue.

There is a Federal Pacific Stab Lok brand panel in the garage. Due to the obsolete brand and history of past failures upgrading the panel is recommended. Contact a qualified electrician for evaluation/recommendations.



Zinsco panel installed.



Federal Pacific panel installed.

8. Wire-Over Current Compatibility

Satisfactory

9. Receptacle Ground Verify

Attention

There are two prong receptacles in the home. Two prong receptacles are not grounded due to a two wire circuit: some three prong receptacles are not grounded as well. This is a common condition to homes of this age. For more information about grounding receptacles contact a qualified electrician for evaluation.

10. GFCI Protection

Maintenance

Due to the age of the home there are no **GFCI** outlets installed at the home except for the newer addition. It is recommended that ground fault interrupters (GFCI) be located in areas where there is a potential danger of electrical shock areas such as the kitchen, bathrooms, garages, and exterior.

11. Service Ground Verify

NA

The inspector is not required to verify continuity of connected service grounds.

12. Outlets, Switches, Junction Boxes, Lighting

Maintenance

All damaged or missing cover plates should be replaced with new cover plates to restore proper function and reduce the risk of electrical shorts and hazardous shocks. There are various missing cover plates in the living room and master bedroom/bathroom.



Missing cover plates at various areas.

13. Wire Method

Romex

14. Arc Fault Breakers

Not installed

Arc fault breakers are protected receptacles installed in bedrooms designed to trip in the event of an arcing crimped plug cord due to a bed or dresser. Industry standards since 2004 require this installation. Consult with a qualified electrician for evaluation.

Plumbing

1. Service Size To Structure

3/4"

2. Structure Pipe Material

Copper

Galvanized

Galvanized piping has a serviceable life of 50-75 years depending on mineral content. It is recommended to evaluate the condition of the piping annually to determine any visible encrustations as this piping will run from the interior to the exterior. Future replacement of the galvanized lines with potable plastic or copper may be needed.

3. Waste Pipe Material

Cast Iron

Copper

4. Pipe Rumble Noise

No

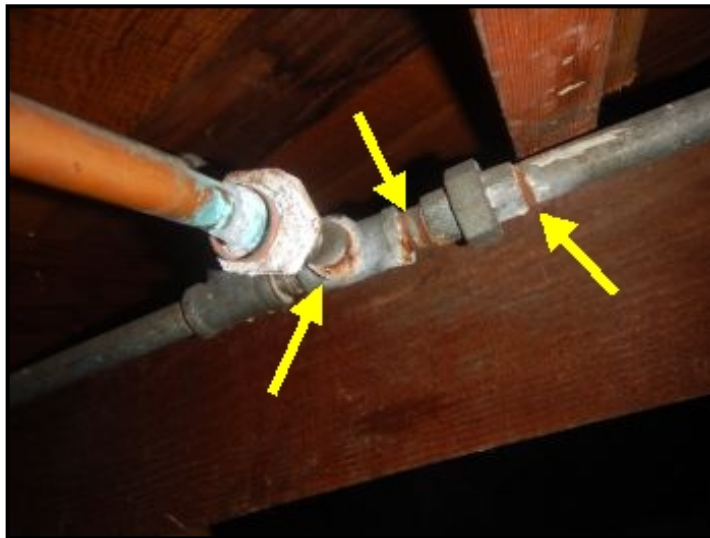
5. Surge Bangs

No

6. Encrustations Evident

Yes

Encrustations (visible buildup of deposits) on the exterior of galvanized plumbing is an early indication of a developing deterioration of the pipes. Contact a qualified plumbing contractor for evaluation/recommendations.



Encrustations at older galvanized plumbing.

7. Water Pipe Insulation

No

8. Evidence Of Leaks

Yes

The inspector has found evidence of a plumbing leak. We advise the use of a qualified plumbing contractor to make final determination of the cause and to provide estimates for repairs. Location of the leak was a drain line in the sub area under the deck.



Leaking at shower drain line.

9. Interior Water Flow

Functional

The inspector opened and closed both hot and cold water at multiple faucets, basins and fixtures simultaneously. Little or no pressure drop resulted indicating water pressure is functional at the time of the inspection. Preferred water pressure can be subjective.

10. Exterior Water Flow

Functional

Average city water pressure is 40-75 psi. If the water pressure exceeds 80psi. the inspector recommends to install an exterior pressure reducer or adjust the existing pressure reducer if installed.

Main Entry

1. Correct Application

Functional

It is recommended to change locks after occupying the home.

2. Door Fit

Functional

3. Finish

Functional

4. Weather Stripping

Functional

5. Dead Bolts

Yes

6. Door Bell

Functional

7. Lighting

Functional

Other Ext. Entry Doors

1. Location

BR

2. Correct Applications

Yes

3. Finishes

Functional

4. Door Fit

Functional

5. Weather Stripping

Functional

6. Screen Door

Functional

7. Locks

Functional

8. Sliding Glass Door/Safety

Attention

The sliding glass door is labeled as tempered safety glass.

Living Room

1. Floor

Functional

Carpets and floor covering condition is out side the scope of this inspection.

2. Windows

Functional

3. Ceiling/Walls/Doors

Functional

Fireplace

1. Solid Fuel/Gas Logs/Gas Appliances

Maintenance

There is deterioration to the mortar joints at the interior of the fireplace. Before use we recommend contacting a qualified chimney specialist for evaluation/repairs.



Deterioration of mortar joints at interior of fireplace.

2. Location

LR

3. Exterior Chimney Condition

Maintenance

There is cracking at the mortar joints of the chimney at the roof top. Recommend contacting the appropriate specialist for evaluation/recommendations.



Deterioration of mortar joints at chimney.

4. Flue condition

Not inspected
Flue evaluation is not within the scope of this inspection.

5. Flue Damper

Functional

6. Rain Cap/Spark Arrestor

Functional
There is a spark arrestor installed at the chimney top.

Kitchen

1. Floor Cover Material

Satisfactory

2. Ceilings/Walls/Doors

Satisfactory

3. Window

Functional

4. Lighting

Functional

5. Drawers/Doors

Functional

Cabinets/doors are typically in need of periodic adjustments. Common wear was noted to areas due to the age of the home.

6. Under Sink

Satisfactory

There is moisture staining noted from what was a possible past leak. At the time of the inspection the area was water tested and no current active leak was noted. Recommend monitoring this area and taking corrective measures if needed.

7. Sink/Faucet Leak

No

At the time of the inspection there was no sink or faucet leaks observed.

8. Drains Appear Clear

Yes

9. Stove exhaust Fan

Functional

10. Stove Exhaust Filter

Attention

The grease filter(s) on the exhaust fan needs to be replaced or cleaned. This should be done on a regular basis as part of preventative home maintenance.



Clean/replace stove top filter.

11. Stove/Cook Top

Gas

12. Cooktop/Burners

Functional

13. Controls

Functional

14. Oven

Gas

15. Over Operation

Functional

16. Oven Appearance/Condition

Satisfactory

17. Counter Tops

Satisfactory

18. Garbage Disposal

Functional

The garbage disposal appears to be operations at this tim. On/off tested was performed only. The grinding capability was not determined at the time of inspection.

19. Dishwasher

Functional

The dishwasher appears to be functioning. An on/off of the dishwasher was performed to determine if it is operation. A full cycle check is often not possible in the time of this inspection; therefore we cannot comment on the full extent of its functions or its ability to clean. it is recommended to inquire with the seller as to the function or run and observe a full cycle prior to occupying the home to determine any leaks of malfunction.

20. Refrigerator

Functional

21. Kitchen Fixtures

Functional

22. Built In Microwave

NA

Laundry

1. Location

Bathroom

2. Washer Hookup

Yes

3. Dryer Hookup

Yes

4. Gas Service

Not visible

5. 240V Electrical Service

Not visible

6. Drains

Not tested

There was not test performed of the washing machine drain line. The inspector recommends testing the drain function prior to occupying the home to prevent any potential water damage and desired drainage.

7. Wash Basin

NA

8. Dryer Vent

Not visible

9. Ventilation

Satisfactory

10. Counters

NA

11. Floors/Walls/Ceilings/Doors

Satisfactory

12. Windows

NA

Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Floors

Attention

Moisture staining was noted in the master bathroom closet which is behind the shower area. The staining appears older and no major adverse conditions were noted. We recommend monitoring this area to determine if repairs are needed.



Moisture stains noted in bedroom closet.

2. Doors

Functional

3. Walls/Ceilings

Satisfactory

4. Window

Functional

Bathrooms

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Locations

Guest/Master

2. Floors

Attention

There is moisture staining to the vinyl flooring in the master bathroom indicating past moisture intrusion. When tested with a moisture meter high levels of moisture was noted. No apparent damage was obvious. Measures should be taken to keeping the floors properly caulked and sealed to prevent potential damage.



Suspect moisture intrusion under bathroom floor cover.

3. Ceiling/Walls/Doors

Satisfactory

4. Basin Fixtures

Functional

At the time of the inspection all bathroom water fixtures were tested and functioning.

5. Basin Drain

Functional

At the time of the inspection the basin drains were flowing freely.

6. Shower Fixtures

Functional

At the time of the inspection the shower fixtures were tested and functioning.

7. Shower Head

Functional

At the time of the inspection the shower heads were properly functioning.

8. Shower Enclosures

Functional

The shower enclosure appears to be in serviceable condition.

9. Water Resistant Wall Cover

Maintenance

There are grout voids and cracked tiles around the hallway bathroom shower wall and caulking voids around the master bathroom shower wall. This is a condition that can allow for potential moisture intrusion. Repairs are advised to prevent potential moisture intrusion.



Holes at tile shower wall.



Grout voids/damaged tiles at shower wall.



Damaged tile at shower wall.

10. Caulking Water Exposed Areas

Attention

There are gaps between the tub spout and shower walls exposing areas of potential moisture intrusion. It is recommended to caulk and seal these areas as a preventative measure. These areas should be inspected and touched up on a regular basis as part of preventative home maintenance.



Caulk and seal around tub spout.

11. Tubs

Functional

Quantity/adequacy of the hot water supply to fill the tub and other multiple demand was not determined. Refer to the appropriate trades person or manufacturers specifications.

12. Tub Fixtures

Functional

13. Tub/Shower Drain

Functional

At the time of the inspection the tub/shower drain seemed to be draining freely.

14. Toilet

Functional

Home maintenance should include periodic tightening of the toilet to prevent damage from a potential leak. Recommend resetting toilet on a new wax ring every five years

15. Ventilation

Satisfactory

Ventilation is provided by a ceiling exhaust fan and is in operable condition.

16. Mildew Noted

No

17. Heating

Functional

18. Windows

Functional

19. Cabinets

Functional. As part of regular maintenance cabinets and doors will need periodic adjustments.

20. Counters

Maintenance

There are caulking/grout voids noted at the master bathroom counter top. Recommend re-sealing these areas to prevent moisture intrusion.



Grout voids at bathroom counter top.

Water Heater

1. Location

Garage

2. Type

Gas

The typical lifespan of a water heater is 12-15 years. The data plate dates the water heater to 2002.

3. Size

40 Gallon

4. Encrustations Noted

No

5. Evidence of leaks

No

6. TPRV

Functional

A temperature pressure relief valve (TPRV) is present. This safety feature releases water (and thus relieves pressure) if either the temp or pressure in the tank gets too high. The **TPR valve** discharge pipe must be made of copper, iron, or CPVC (not regular **pvc**). It must terminate within 6" above the ground and the end cannot be threaded or have a fitting.

7. Discharge Pipe

Functional

The water heater pressure relief valve is equipped with a proper discharge pipe.

8. Safety Tie Down

Functional

The water heater is installed with a seismic tie-downs system that in the opinion of th inspector should prevent damage to the system in the event of an earthquake.

9. Venting

Attention

There are no screws securing the water heater flue to the flue hood. Industry standard require three screws on the water heater flue to secure the flue hood correctly. Contact a qualified plumbing contractor for evaluation.



No screws installed at flue/flue hood.

10. Combustion

Functional

11. Insulation Blanket

No

12. Installation

Functional

Heating System

1. System Type(s) info

Gas fired furnace

Force air furnaces operate by heating a stream of air moved by a blower through a system of ducts. Important elements of the system include the heat exchanger, exhaust venting, blower, controls and ducts. Our evaluation is limited to inspection of the visible components and their basic function. Evaluation of efficiency and or adequacy of the system is not within the scope of this inspection. Such an evaluation requires more exhaustive testing and analysis.

Electric baseboard

2. Location

Attic

Brand: Coleman

Year: 2012

Input: 80,000 BTU

3. Thermostat Location

Hallway

4. Thermostat Condition

Functional

5. On/Off Check

Functional

Since there are no service records on the furnace we recommend to contacting a qualified HVAC contractor to perform a diagnostic/installation evaluation and service the furnace as a health and safety consideration. Home maintenance should include annual servicing of the furnace as a health and safety consideration. The national fire association recommends that a CO alarm should be centrally located outside of each separate sleeping are in the immediate vicinity of the bedrooms. For added protection, install additional CO alarms in each separate bedroom prior to occupancy

6. Operation Noise

Satisfactory

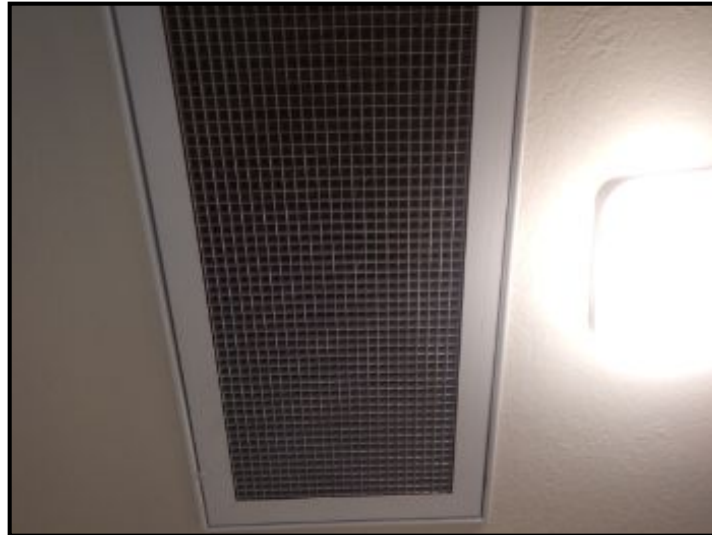
7. TPR Valve

NA

8. Filter Condition

Attention

The furnace filter is in need of changing. This can restrict proper airflow and reduce the efficiency of the system. The inspector recommends changing or cleaning the filter on a regular basis as needed.



Replace air return filter.

9. Vents/Flues

Functional

Review all gas appliances, intake and exhaust venting by PG&E or a qualified HVAC contractor prior to taking occupancy as a health and safety consideration.

10. Ducts/Returns

Functional

During diagnostic furnace evaluation, duct installation/adequacy/air loss evaluation is recommended. Air loss testing is not within the scope of this inspection. Recent changes in residential energy efficiency standards (Title 24) requires upgrading of some pre-existing heating and cooling components upon replacement, or in some cases, repair of existing systems. Additional costs may be incurred when these standards are met. Recommend consulting with a qualified HVAC contractor for further information.

11. Non-Heated Areas

None

12. Service Notes/Filter Size

None visible

Refer to the owner for service records. If the unit has not been serviced on an annual basis, contact a qualified HVAC contractor for diagnostic/installation evaluation. The inspector is not required to inspect the heat exchanger. This is a technically exhaust procedure. This inspection company is not a certified heating technician company,

Air Conditioning

1. Type Of Unit

Split AC

Inspection and evaluation of the condition of the cooling system was limited to the visible components and their basis functions. Evaluation of efficiency and or adequacy requires extensive diagnostic testing that is beyond the scope of this inspection.

2. Location Of Unit(s)

Exterior

3. System Operation

Functional

The AC is operating and responding to the on/off command at the thermostat. System adequacy/capacity is not within the scope of this inspection.

4. Service Records

NA

Refer to seller. If no servicing has been performed in the last year, contact a qualified HVAC contractor for service prior to the end of the contingency/inspection period.

5. Energy Source

Electric 240

6. Power Disconnect Location

At unit

Disconnect was properly installed and in acceptable condition. The equipment acts as a shut off switch for use in an emergency or for servicing.

7. Condensing Coil Condition

Functional

Interior components is not within the scope of this inspection.

8. Condensate Drain System

Functional

The condensate drain system is installed and appears to be without any visible flaws.

Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Attic Access

Garage
Bathroom

2. Access

Satisfactory

3. Attic Evaluated By

Inspected from the attic access

4. Inaccessible Areas

Yes

There are inaccessible structure cavities evident from the attic and there are areas of the attic which are inaccessible due to reduce clearance, insulation, design, or obstruction by structural members and or mechanical apparatus.

5. Roof Inspect From Underside

Yes

6. Exposed Rafters Sheathing

Yes

7. Framing Condition

Functional

Not all areas are accessible. Structural design/integrity/weight load is not within the scope of this inspection.

8. Visible Light

No

9. Ventilation

Satisfactory

The inspector has been able to observe what appears to be satisfactory passive ventilation in the attic area.

10. Insulation

Blown in **cellulose**

There are low levels of insulation in the home. Adding additional insulation in the attic is recommended to help with the heating/cooling efficiency of the home. Contact the appropriate specialist for evaluation.

11. Ducting

Satisfactory

12. Rodent Activity

Yes

There is evidence of rodent activity in the attic. It could not be determined if this is a current active issue or not. Recommend contacting the appropriate pest control company for evaluation/recommendations.

Raised Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Access Location

Exterior
Bedroom closet

2. Access Size

Satisfactory

3. Clearance

Satisfactory

4. Inaccessible Areas

Yes
The access door under the rear deck was unable to be removed.

5. Debris/Trash

No
Refer to the current pest report

6. Moisture/Dampness

Satisfactory

7. Vapor Barrier

Satisfactory
There is a vapor barrier installed in the sub area of the addition.

8. Ventilation

Satisfactory
Review the current pest report for further comment.

9. Proper Earth/Wood Clearance

Yes
The inspection of the crawlspace does not show any contact of earth to wood.

10. Wood Members

Satisfactory
Wood destroying organisms and or decay/fungal rot at any location within the subject property is not within the scope of this home inspection. This company is not a state licensed pest control company. Review the current pest report for any related conditions.

11. Cracks in Foundation

Yes

Cracks and evidence of settling were found in the concrete foundation. This can often be caused by expansive soils along with a lack of reinforcing steel in the concrete and is not uncommon in older homes. Sealing any cracks/openings with caulking or epoxy is advised to prevent moisture from entering through the voids. Diverting drainage away from the foundation area can help control seasonal expansion/contraction of the soils which contributes to foundation movement and cracking.

12. Separation Over 1/4"

No

13. Sill Plate Anchors

Verified

The sill plate anchors were located and verified to be in place at accessible areas only at the time of this inspection. Sill plate anchors are fasteners that connect the sill plate to the concrete foundation. These anchors limit the framings ability to move independently on the foundation in the event of an earthquake. The inspector does not measure layout of sill plate anchor bolts or determine structural adequacy strength. Rust on metal framing components, including anchor bolts, joist hangers and nails is common. For information regarding this condition, consult with the appropriate specialist.

14. Method Of Inspection

Entrance

15. Insulation

Batten Insulation.

16. Pier Type And Condition

Concrete

17. Drainage/Sump Pumps

NA

18. Rodent Activity

Observations: No