

Gage Inspection Services

Property Inspection Report



4721 Starbuck Ave, Santa Rosa, CA 95409
Inspection prepared for: Tim/Shannon Rountree
Real Estate Agent: Mary Haufler - Sothebys

Date of Inspection: 7/10/2018 Time: 9:00 AM
Order ID: 142


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Gage Inspection Services

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Inspection Details		
Page 12 Item: 10	Smoke Detectors	<p>Maintenance There is a missing battery for the smoke detector in the master bedroom. It is recommended to replace the battery and test for proper function.</p>
		
<p>Missing battery at smoke detector.</p>		
Exterior Structure		
Page 14 Item: 2	Siding Condition	<p>Attention The concrete steps have been installed above the siding and may cause future damage. It is recommended to provide a proper flashing to direct water away from this area or seal with an elastomeric or polyurethane caulking.</p>



Siding installed behind concrete steps.

Page 15 Item: 7	Fascia Boards/Trim	<p>Maintenance Trim damage has been noted at the exterior of the home. We recommend referring to the pictures and contacting a qualified contractor to review the current pest report and make needed repairs.</p>
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Window trim damage at side of garage.

Window trim damage at side of home.

Page 15 Item: 9	Double Pane Seals/Insulating Windows	<p>Maintenance There are double pane insulating windows that have lost the vacuum seal between the panes of glass. The locations are the window next to the main entry door, upper window above dining area, upper window above kitchen sink. The conditions is identified by signs of fogging, a halo effect or condensation build up between the panes of glass. Recommend contacting a glass company for complete window evaluation and estimates for replacement. The deficiency on any other windows is sometimes only visible under certain climatic conditions.</p>
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Patios/Decking/Porches

Page 17 Item: 5	Weather Protective Covers	<p>Maintenance There is a damaged weather protective cover at the rear patio. Replacement of the cover is recommended as a health and safety consideration.</p>
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Damaged cover at rear patio.

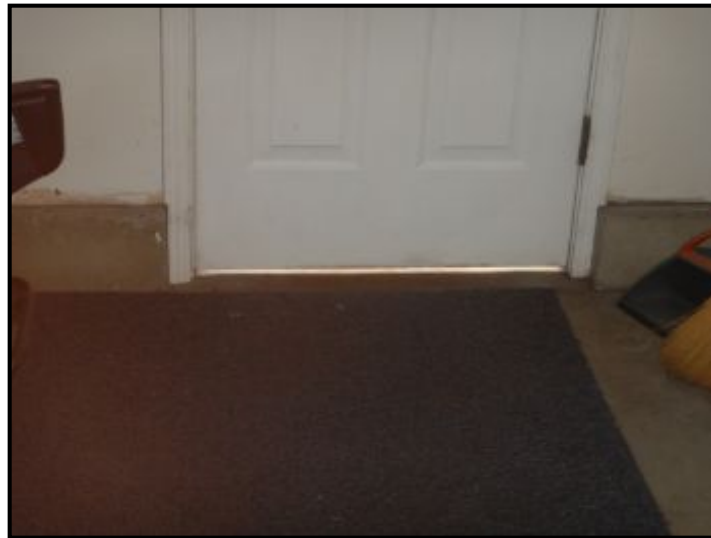
Garage

Page 19 Item: 5	Springs/Mounts	<p>Attention One of the tracks for the garage door rattles when the door is opening. The support hardware was noted to be loose. It is recommended to tighten the support bolts to prevent further wear.</p>
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Loose track at garage door.

Page 20 Item: 10	Door(s) Garage-Building	<p>Attention There is a gap under the side service garage that can allow for rodent and moisture access. It is recommended to install a lower door sweep to close off this gap.</p>
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Gaps under side garage door.

Roof

Page 21 Item: 3	Moss/Mildew	<p>Yes There is moss growth at the roof top. The inspector recommends removing the moss growth at some time in the future and treating the roof to prevent growth. Chemicals for preventing moss growth can be purchased at a local home improvement store. There are companies who will clean the roof and apply a material that will prevent moss growth for a number of years.</p>
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Moss growth on roof top.

Page 21 Item: 7	Ridges	<p>Attention There are exposed fasteners at the ridge shingles. It is recommended to keep these areas properly caulked and sealed as a preventative measure. Contact a qualified roofing contractor for repairs.</p>
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Seal fasteners at ridge shingles.

Page 22 Item: 9

Flashings/Caulking

Attention

There are some exposed fasteners at the roof top flashings. It is recommended to keep these areas properly caulked and sealed to prevent potential leaking points. Contact a qualified roofing contractor for evaluation/repairs.



Seal exposed fasteners at flashings.

Page 22 Item: 10

Vents/Chimneys/Covers

Attention

Some of the plumbing vent storm collars have collapsed which can cause standing water and unnecessary wear to the storm collars. Minor repairs are recommended to properly shed water.



Collapsed storm collar at plumbing vents.

Plumbing

Page 27 Item: 8

Evidence Of Leaks

Yes

The inspector has found evidence of a plumbing leak at the hall bathroom sink drain line. We advise the use of a qualified plumbing contractor to make final determination of the cause and to provide estimates for repairs.



Leaking at bathroom sink drain line.

Bathrooms

Page 37 Item: 9

Water Resistant Wall Cover

Attention

Minor grout voids were noted around the master bathroom shower tile wall. This is a condition that can lead to moisture intrusion and deterioration. Regrouting is recommended. These areas should be inspected and touched up on a regular basis as part of preventative home maintenance



Caulking touch ups needed.

Page 38 Item: 10

Caulking Water Exposed Areas

Attention

Minor grout voids were noted at the tile floor to the base of the tub/shower at the master bathroom. it is recommended to keep these areas properly sealed to prevent moisture intrusion and potential damage. These areas should be inspected and touched up on a regular basis as part of preventative home maintenance.



Grout voids at exterior of shower.

Page 39 Item: 20

Counters

Attention

There are caulking/grout voids noted at the hall bathroom counter top. Recommend re-sealing these areas to prevent moisture intrusion.



Cracking grout at bathroom counter top.

Heating System

Page 41 Item: 8

Filter Condition

Attention

The furnace filter is in need of changing. This can restrict proper airflow and reduce the efficiency of the system. The inspector recommends changing or cleaning the filter on a regular basis as needed.



Replace air return filter.

Page 42 Item: 10

Ducts/Returns

Attention

There are gaps around the floor heat registers. It is recommended to seal around the registers with an HVAC foil tape to help with the heating/cooling efficiency of the home.



Recommend taping gaps around heat registers.

Raised Foundation

Page 45 Item: 8

Ventilation

Restricted

There is insulation that is blocking some of the under house vents. Recommend providing 24 inches of clearance from the vents to increase airflow.



Insulation blocking vents.

Inspection Details

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

1. Weather

Sunny

2. Attendance

Client Present
Selling Agent Present

3. Occupancy

Occupied-Furnished

Access to some itmes such as: electrical outlets/receptacles, windows, wall/floor surface, and cabinet interios may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

4. Description

Wood framed

1)The inspector as a part of the inspection, is NOT required to determine installation guidelines, structural calculations, unstable geological conditions, presence of any hazardous material such as lead and asbestos, manufacturers specifications (or recalls) and building codes, or detect the presence of Chinese Drywall or its potential problems, outbuildings, septic systems and or sewer pumps, well systems/alternative water systems or water quality testing, solariums, the presence of wood destroying organisms or fungal rot, condition of floor coverings, conditions relating to animals, rodents, or other household pets or the damage caused therby, cosmetic items, including without limitation, paint, scratches, scrapes, dents, cracks, stains or faded surface, remove appliances, remove insulation, operation of window coverings, operation of free standing appliances, automatic window coverings, inspect furnace heat exchangers, radiant/hydronic heating systems or specialized heating systems, sauna/steam bathroom function, music systems, central vacuum funtion, structural engineering calculations or deficiencies, unstable geological conditions or soil contamination, solar system function and or alternative power source. This is a visual non-invasive inspection as per industry standards. We cannot assume responsibility for hidden latent defects or quality of workmanship. Please carefully read all transfer disclosures as the inspector does not have or is required to have access to transfer disclosures, current or past litigation issues and any previous inspection reports. Gage Inspection Services reserves the right to review any visual defect not disclosed in this inspection withing the standard of practice prior to repair. If repairs are performed on alleged items not included in this report prior without notifying this insepction company for evaluation

2)Some bio-organic organisms (molds) are known to produce toxins that produce toxic responses with sufficient exposure. Structure toxic bio-organic detection and testing is NOT within the scope of this home inspection as Gage Inspection Services is not a certified professional bio-organic expert and or industrial hygienist. If parties of interest desire information contact a qualified industrial hygienist prior to the end of the contingency/inspection period.

3) All conditions in this inspection report are as of the time and day of the inspection. The home inspection is performed withing the scope of the ASHI standards of practice. Please review the Standards of practice at www.ASHI.org.

5. Approx. Year Built

Refer to disclosures.

6. Floors

2

7. Bedrooms

3

8. Bathrooms

3

9. Other Rooms

LR/FR/DR

10. Smoke Detectors

Maintenance

There is a missing battery for the smoke detector in the master bedroom. It is recommended to replace the battery and test for proper function.



Missing battery at smoke detector.

11. Carbon Monoxide

Present

The inspector noted the presence of one or more carbon monoxide (CO) detectors inside the structure. The detectors were tested, and found to be functional at the time of the inspection. The detectors are battery operated and the inspector recommends replacing the batteries in all the units when the buyer takes possession of the property. Testing the units routinely and/or every month to identify functional operation is also recommended.

12. Furniture Storage

Average

The inspector is not required to move furniture, personal, or stored items; lift floor coverings, or panels; or perform any test or procedures which could damage or destroy the item being evaluated. The determination of or damage caused by termites, any wood damage insects or organism is excluded. Gage Inspection Services is not a state licensed pest control company.

13. Floor Structure

Floor joists

14. Ceiling Structure

Wood framing

15. Roof Structure

Wood trusses

16. Interior Stairway Structure

Functional

The stairs when walked and inspected appeared to be in satisfactory condition and the hand rails were securely fastened. The riser and tread of each step are relatively the same height and length. Measuring each component is not performed. No obvious unsafe conditions are apparent.

Site concrete and paving

1. Driveway/Parking

Functional

2. Walkways

Functional

3. Steps

Functional

Exterior Structure

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, the stoops, steps porches and their associated railings, any attached decks and balconies and eaves, soffits and fascias accessible from ground level.

1. Siding Material

Hardboard

Under-lying flashings to prevent moisture intrusion cannot be observed. Water testing and invasive inspection is not within the scope of this inspection. Refer to owner or disclosures for any issue with moisture intrusion if any.

2. Siding Condition

Attention

The concrete steps have been installed above the siding and may cause future damage. It is recommended to provide a proper flashing to direct water away from this area or seal with an elastomeric or polyurethane caulking.



Siding installed behind concrete steps.

3. Painted Surfaces

Satisfactory

It is recommended to maintain the exterior paint on the siding material to prevent damage and maintain a pleasing look.

4. Window Glass

Functional

5. Caulking/Structure

Satisfactory

Touching up the structure caulking around the tops and sides of the windows and door trim should be performed yearly as a part of routine maintenance. The caulking keeps rain water from penetrating behind the siding material and causing premature deterioration of the material.

6. Eave/Soffit Areas

Satisfactory

Review the current pest report for related conditions, if any.

7. Fascia Boards/Trim

Maintenance

Trim damage has been noted at the exterior of the home. We recommend referring to the pictures and contacting a qualified contractor to review the current pest report and make needed repairs.



Window trim damage at side of garage.



Window trim damage at side of home.

8. Window Screens

Functional

9. Double Pane Seals/Insulating Windows

Maintenance

There are double pane insulating windows that have lost the vacuum seal between the panes of glass. The locations are the window next to the main entry door, upper window above dining area, upper window above kitchen sink. The conditions is identified by signs of fogging, a halo effect or condensation build up between the panes of glass. Recommend contacting a glass company for complete window evaluation and estimates for replacement. The deficiency on any other windows is sometimes only visible under certain climatic conditions.

10. Address Identification

Satisfactory

11. Watering System

Not tested

If installed, sprinkler and related irrigation systems are not within the scope of a home inspection.

12. Retaining Walls

NA

Structure Perimeter Exterior

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building.

1. Foundation Material

Concrete

2. Vent Screens

Functional

3. Visible Cracks

No

4. Evidence of separation over 1/4"

No

The visual inspection of the exterior of the foundation did not reveal cracking in the foundation system with openings in excess of 1/4" in separation

5. Evidence of movement

No

6. Site Drainage

Nearly flat

The site property appears to be nearly flat. There may be areas of ponding water during the winter months. Home owner is advised to monitor the exterior and sub are if applicable during the winter months and perform any drainage maintenance necessary. It is recommended to provide and maintain positive fall/slope away from the perimeter foundation. Parties of interest should inquire with the owner and review the transfer disclosure as to any past or current drainage issues.

7. Evidence of erosion

No

8. Proper earth/wood clearance

Yes

It is recommended providing at least 4-6 inches of clearance between the earth and wood siding material as a preventative maintenance measure.

9. Vegetation Clear From Structure

Yes

There is no vegetation growing up against the exterior surface material. All vegetation should be kept trimmed at least 6-12 inches away from the structure to eliminate a common avenue for pest infestation and damage to the exterior structure material

Patios/Decking/Porches

1. Surface

Concrete patio

2. Railings

Functional

3. Steps/Handrails

Functional

4. Electrical Service

Yes

5. Weather Protective Covers

Maintenance

There is a damaged weather protective cover at the rear patio. Replacement of the cover is recommended as a health and safety consideration.



Damaged cover at rear patio.

6. Lights

Functional

7. Cover/Enclosure

Functional

Fence/Gates

1. Fences

Functional

2. Gates

Functional

3. Locks/Latches

Functional

Garage

1. Size

2 Car

2. Garage Door

Functional

The garage door was tested and appears functional. Installation specifications are unknown and verification is not within the scope of this inspection.

3. Garage Door Seal

Functional

There is a garage door seal installed to help keep moisture and rodents out of the garage area.

4. Automatic Opener

Functional

The automatic garage door opener was identified to be in working order at the time of the inspection. Installation specifications are unknown and verification is not within the scope of the home inspection.

5. Springs/Mounts

Attention

One of the tracks for the garage door rattles when the door is opening. The support hardware was noted to be loose. It is recommended to tighten the support bolts to prevent further wear.



Loose track at garage door.

6. Safety Operation

Functional

The garage door pressure reverse safety feature and automatic reversing eyes have been checked and are operating as intended

7. Floor Foundation

Functional

8. Lighting

Functional

9. Firewall

Functional

The common wall/ceiling between the house and the garage appears to provide required fire wall conditions. There are areas of the firewall that may be inaccessible for visual inspection due to storage in the garage (if applicable).

10. Door(s) Garage-Building

Attention

There is a gap under the side service garage that can allow for rodent and moisture access. It is recommended to install a lower door sweep to close off this gap.



Gaps under side garage door.

11. Moisture Penetration

No

Roof

1. Roof Cover Material

Composition shingles

2. Roof Type

Pitched

3. Moss/Mildew

Yes

There is moss growth at the roof top. The inspector recommends removing the moss growth at some time in the future and treating the roof to prevent growth. Chemicals for preventing moss growth can be purchased at a local home improvement store. There are companies who will clean the roof and apply a material that will prevent moss growth for a number of years.



Moss growth on roof top.

4. Debris on Roof

No

There was no debris build up on the roof at the time of the inspection. Debris build up should be cleaned off the roof surface on an annual basis as a proper care and maintenance recommendation.

5. Cover

1 Layer

6. Cover Material Condition

Functional

The roof cover material appears in serviceable condition showing the typical signs of wear for the age of the roof.

7. Ridges

Attention

There are exposed fasteners at the ridge shingles. It is recommended to keep these areas properly caulked and sealed as a preventative measure. Contact a qualified roofing contractor for repairs.



Seal fasteners at ridge shingles.

8. Valleys

Functional

9. Flashings/Caulking

Attention

There are some exposed fasteners at the roof top flashings. It is recommended to keep these areas properly caulked and sealed to prevent potential leaking points. Contact a qualified roofing contractor for evaluation/repairs.



Seal exposed fasteners at flashings.

10. Vents/Chimneys/Covers

Attention

Some of the plumbing vent storm collars have collapsed which can cause standing water and unnecessary wear to the storm collars. Minor repairs are recommended to properly shed water.



Collapsed storm collar at plumbing vents.

11. Gutters/Downspouts

Functional

We recommend inspection and cleaning the gutter system and roof surface on an annual basis. There is gutter screen material that can be installed over the gutter system to help keep debris out of the gutters. The screen helps keep leaves and other debris out of the gutter system to prevent clogging of the gutters, down spouts, and drain system.

The downspouts drain into an underground drainage system that by design is not visible for inspection. Unknown underground conditions may be present. Recommend monitoring this area during the rains to determine proper function.

12. Indications of leaking

Yes

13. Soft Spots

No

14. Separate Certification Recommended

No

15. Roof Evaluated From

Walked roof surface

16. Skylights

No

Utility Services

1. Electrical Services

Underground

2. Water Source

City

3. Water Meter Location

Sidewalk

4. Water Shutoff

Side of home

5. Sewer

City

Underground conditions are not within the scope of this inspection.

6. Sewer Clean Out Location

Not located. Refer to seller

7. Gas Service

Natural

8. Gas Odors Noted

No

9. Service Shutoff

At the meter. Home owner is advised to have a gas meter wrench nearby to shut the gas off in the event of an earthquake and gas odors are evident.

10. Vents/Exhaust

Satisfactory

Review all gas appliances, intake and exhaust venting by a qualified contractor prior to taking occupancy as a health and safety consideration.

11. Carbon Monoxide

Not tested

This building has fossil fuel and or solid fuel burning systems that have the potential to generate carbon monoxide. Carbon monoxide is a colorless, odorless gas that can cause serious injury or death. Testing for carbon monoxide (CO) is not within the scope of this home inspection. We recommend CO detectors be installed in the hallway, every bedroom/living area of the structure, according to manufacturers instructions prior to occupancy and that fossil fuel-fire/gas appliance be serviced prior to occupancy as per manufacturers instructions.

Electrical

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Panel/Sub Panel Locations

Exterior

2. Service Size (Amps)

125 Amp

3. Over Current Devices

Breakers

Overload protections is provided by breakers for this structure. Know how to reset a circuit breaker. After turning off or unplugging appliances on the circuit, push the switch firmly to the off position, than back on. If the overload is cleared, the electricity will come back. If your circuit breakers trip off repeatedly, there could be a problem with the appliance on that circuit. If the appliances are unplugged but the circuit breaker trips off again, call an electrician. The inspector is not required to operate overload devices.

4. Panel To Structure

Copper

5. Panel Cover Removed

Yes

6. Open Breaker Slots At Panel

No

7. Breaker Configuration

Satisfactory

8. Wire-Over Current Compatibility

Satisfactory

9. Receptacle Ground Verify

Satisfactory

The inspector has SPOT CHECKED the three prong 110 volt outlets throughout the home, and has not found any there were not correctly grounded. This is not a warranty and an undiscovered condition may exist.

10. GFCI Protection

Yes

It is recommended that ground fault interrupters (**GFCI**) be located in areas where there is a potential danger of electrical shock. This property has GFCI receptacles. Recommend testing monthly as these devices are susceptible to mechanical failure. It is not recommended to plug in refrigerators or freezers to any GFCI receptacle as food loss may occur in the event the receptacle trips or mechanically fails. Recommend testing monthly as a safety consideration.

11. Service Ground Verify

NA

The inspector is not required to verify continuity of connected service grounds.

12. Outlets, Switches, Junction Boxes, Lighting

Functional

The inspector was able to identify and report on the condition of those receptacles, switches and junction boxes that were visible and accessible at the time of the inspection. Occupied homes often have furniture and stored items covering electrical receptacles, switches and junction boxes which limit their accessibility for inspection. Receptacles may need tightening. The inspector is not required to remove any cover plates.

13. Wire Method

Romex

14. Arc Fault Breakers

Not installed

Arc fault breakers are protected receptacles installed in bedrooms designed to trip in the event of an arcing crimped plug cord due to a bed or dresser. Industry standards since 2004 require this installation. Consult with a qualified electrician for evaluation.

Plumbing

1. Service Size To Structure

3/4"

2. Structure Pipe Material

PEX

3. Waste Pipe Material

Plastic

4. Pipe Rumble Noise

No

5. Surge Bangs

No

6. Encrustations Evident

No

Encrustations (readily visible deposits at the pipe connections) are an early indications of a developing leak. There were no encrustations visible that would indicate a developing leak.

7. Water Pipe Insulation

No

8. Evidence Of Leaks

Yes

The inspector has found evidence of a plumbing leak at the hall bathroom sink drain line. We advise the use of a qualified plumbing contractor to make final determination of the cause and to provide estimates for repairs.



Leaking at bathroom sink drain line.

9. Interior Water Flow

Functional

The inspector opened and closed both hot and cold water at multiple faucets, basins and fixtures simultaneously. Little or no pressure drop resulted indicating water pressure is functional at the time of the inspection. Preferred water pressure can be subjective.

10. Exterior Water Flow

Functional

Average city water pressure is 40-75 psi. If the water pressure exceeds 80psi. the inspector recommends to install an exterior pressure reducer or adjust the existing pressure reducer if installed.

Main Entry

1. Correct Application

Functional

It is recommended to change locks after occupying the home.

2. Door Fit

Functional

3. Finish

Functional

4. Weather Stripping

Functional

5. Dead Bolts

Yes

6. Door Bell

Functional

7. Lighting

Functional

Other Ext. Entry Doors

1. Location

DR
BR

2. Correct Applications

Yes

3. Finishes

Functional

4. Door Fit

Functional

5. Weather Stripping

Functional

6. Screen Door

Functional

7. Locks

Functional

8. Sliding Glass Door/Safety

Functional

It appears the door glass is not properly identified as safety glass.

Living Room

1. Floor

Functional

Carpets and floor covering condition is out side the scope of this inspection.

2. Windows

Functional

3. Ceiling/Walls/Doors

Functional

Fireplace

1. Solid Fuel/Gas Logs/Gas Appliances

Functional

There is a gas burning appliance in this home. This inspection does not cover flue draft, code clearances and improper installation. When turned on condensation may appear which is common.

2. Location

LR

3. Exterior Chimney Condition

Satisfactory

4. Flue condition

Not inspected

5. Flue Damper

NA

6. Rain Cap/Spark Arrestor

Functional

There is a spark arrestor installed at the chimney top.

Kitchen

1. Floor Cover Material

Satisfactory

2. Ceilings/Walls/Doors

Satisfactory

3. Window

Functional

4. Lighting

Functional

5. Drawers/Doors

Functional

Cabinets/doors are typically in need of periodic adjustments.

6. Under Sink

Satisfactory

7. Sink/Faucet Leak

No

At the time of the inspection there was no sink or faucet leaks observed.

8. Drains Appear Clear

Yes

9. Stove exhaust Fan

Functional

10. Stove Exhaust Filter

Functional

11. Stove/Cook Top

Gas

12. Cooktop/Burners

Functional

13. Controls

Functional

14. Oven

Electric

The oven temperature accuracy is not within the scope of this inspection.

15. Over Operation

Functional

16. Oven Appearance/Condition

Satisfactory

17. Counter Tops

Satisfactory

18. Garbage Disposal

Functional

The garbage disposal appears to be operations at this tim. On/off tested was performed only. The grinding capability was not determined at the time of inspection.

19. Dishwasher

Functional

The dishwasher appears to be functioning. An on/off of the dishwasher was performed to determine if it is operation. A full cycle check is often not possible in the time of this inspection; therefore we cannot comment on the full extent of its functions or its ability to clean. it is recommended to inquire with the seller as to the function or run and observe a full cycle prior to occupying the home to determine any leaks of malfunction.

20. Refrigerator

Functional

21. Kitchen Fixtures

Functional

22. Built In Microwave

Functional

Laundry

1. Location

Hallway

2. Washer Hookup

Yes

3. Dryer Hookup

Yes

4. Gas Service

Not visible

5. 240V Electrical Service

Not visible

6. Drains

Not tested

There was not test performed of the washing machine drain line. The inspector recommends testing the drain function prior to occupying the home to prevent any potential water damage and desired drainage.

7. Wash Basin

NA

8. Dryer Vent

Functional

9. Ventilation

Satisfactory

Ventilation is provide through window.

10. Counters

NA

11. Floors/Walls/Ceilings/Doors

Satisfactory

12. Windows

Satisfactory

Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Floors

Functional

2. Doors

Functional

3. Walls/Ceilings

Satisfactory

4. Window

Functional

Bathrooms

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Locations

Guest/Master

2. Floors

Satisfactory

3. Ceiling/Walls/Doors

Satisfactory

4. Basin Fixtures

Functional

At the time of the inspection all bathroom water fixtures were tested and functioning.

5. Basin Drain

Functional

At the time of the inspection the basin drains were flowing freely.

6. Shower Fixtures

Functional

At the time of the inspection the shower fixtures were tested and functioning.

7. Shower Head

Functional

At the time of the inspection the shower heads were properly functioning.

8. Shower Enclosures

Functional

The shower enclosure appears to be in serviceable condition.

9. Water Resistant Wall Cover

Attention

Minor grout voids were noted around the master bathroom shower tile wall. This is a condition that can lead to moisture intrusion and deterioration. Regrouting is recommended. These areas should be inspected and touched up on a regular basis as part of preventative home maintenance



Caulking touch ups needed.

10. Caulking Water Exposed Areas

Attention

Minor grout voids were noted at the tile floor to the base of the tub/shower at the master bathroom. it is recommended to keep these areas properly sealed to prevent moisture intrusion and potential damage. These areas should be inspected and touched up on a regular basis as part of preventative home maintenance.



Grout voids at exterior of shower.

11. Tubs

Functional

Quantity/adequacy of the hot water supply to fill the tub and other multiple demand was not determined. Refer to the appropriate trades person or manufacturers specifications.

12. Tub Fixtures

Functional

13. Tub/Shower Drain

Functional

At the time of the inspection the tub/shower drain seemed to be draining freely.

14. Toilet

Functional

Home maintenance should include periodic tightening of the toilet to prevent damage from a potential leak. Recommend resetting toilet on a new wax ring every five years

15. Ventilation

Satisfactory

16. Mildew Noted

No

17. Heating

Functional

18. Windows

Functional

19. Cabinets

Functional. As part of regular maintenance cabinets and doors will need periodic adjustments.

20. Counters**Attention**

There are caulking/grout voids noted at the hall bathroom counter top. Recommend re-sealing these areas to prevent moisture intrusion.



Cracking grout at bathroom counter top.

Water Heater

1. Location

Garage

2. Type

Gas

3. Size

Tankless

4. Encrustations Noted

No

5. Evidence of leaks

No

6. TPRV

Functional

A temperature pressure relief valve (TPRV) is present. This safety feature releases water (and thus relieves pressure) if either the temp or pressure in the tank gets too high. The **TPRV valve** discharge pipe must be made of copper, iron, or CPVC (not regular **pvc**). It must terminate within 6" above the ground and the end cannot be threaded or have a fitting.

7. Discharge Pipe

Functional

The water heater pressure relief valve is equipped with a proper discharge pipe.

8. Safety Tie Down

NA

9. Venting

Functional

10. Combustion

Functional

11. Insulation Blanket

No

12. Installation

Functional

Heating System

1. System Type(s) info

Gas fired furnace

Force air furnaces operate by heating a stream of air moved by a blower through a system of ducts. Important elements of the system include the heat exchanger, exhaust venting, blower, controls and ducts. Our evaluation is limited to inspection of the visible components and their basic function. Evaluation of efficiency and or adequacy of the system is not within the scope of this inspection. Such an evaluation requires more exhaustive testing and analysis.

2. Location

Observations: Garage

Brand: Bryant

Year: 2002

Input: 88,000 BTU

3. Thermostat Location

Hallway

FR

There is a thermostat upstairs and downstairs supplying two separate heating/cooling zones.

4. Thermostat Condition

Functional

5. On/Off Check

Functional

Home maintenance should include annual servicing of the furnace as a health and safety consideration. The national fire association recommends that a CO alarm should be centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms. For added protection, install additional CO alarms in each separate bedroom prior to occupancy

6. Operation Noise

Satisfactory

7. TPR Valve

NA

8. Filter Condition

Attention

The furnace filter is in need of changing. This can restrict proper airflow and reduce the efficiency of the system. The inspector recommends changing or cleaning the filter on a regular basis as needed.



Replace air return filter.

9. Vents/Flues

Functional

Review all gas appliances, intake and exhaust venting by PG&E or a qualified HVAC contractor prior to taking occupancy as a health and safety consideration.

10. Ducts/Returns

Attention

There are gaps around the floor heat registers. It is recommended to seal around the registers with an HVAC foil tape to help with the heating/cooling efficiency of the home.



Recommend taping gaps around heat registers.

11. Non-Heated Areas

None

12. Service Notes/Filter Size

None visible

Refer to the owner for service records. If the unit has not been serviced on an annual basis, contact a qualified HVAC contractor for diagnostic/installation evaluation. The inspector is not required to inspect the heat exchanger. This is a technically exhaust procedure. This inspection company is not a certified heating technician company,

Air Conditioning

1. Type Of Unit

Split AC

Inspection and evaluation of the condition of the cooling system was limited to the visible components and their basis functions. Evaluation of efficiency and or adequacy requires extensive diagnostic testing that is beyond the scope of this inspection.

2. Location Of Unit(s)

Exterior

It is recommended to cut back the vegetation away from the exterior condensing unit.

3. System Operation

Functional

The AC is operating and responding to the on/off command at the thermostat. System adequacy/capacity is not within the scope of this inspection.

4. Service Records

NA

Refer to seller. If no servicing has been performed in the last year, contact a qualified HVAC contractor for service prior to the end of the contingency/inspection period.

5. Energy Source

Electric 240

6. Power Disconnect Location

At unit

Disconnect was properly installed and in acceptable condition. The equipment acts as a shut off switch for use in an emergency or for servicing.

7. Condensing Coil Condition

Functional

Interior components is not within the scope of this inspection.

8. Condensate Drain System

Functional

The condensate drain system is installed and appears to be without any visible flaws.

Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Attic Access

Bedroom closet

2. Access

Satisfactory

3. Attic Evaluated By

Inspected from the attic access

4. Inaccessible Areas

Yes

There are inaccessible structure cavities evident from the attic and there are areas of the attic which are inaccessible due to reduce clearance, insulation, design, or obstruction by structural members and or mechanical apparatus.

5. Roof Inspect From Underside

Yes

6. Exposed Rafters Sheathing

Yes

7. Framing Condition

Functional

8. Visible Light

No

The inspection of the attic space found no evidence of gaps in flashing or structure members that would allow rain water penetration into the attic.

9. Ventilation

Satisfactory

10. Insulation

Blown in fiberglass

11. Ducting

Satisfactory

The visible portions of the ducting in the attic were in satisfactory condition.

12. Rodent Activity

No

Raised Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Access Location

Hall closet

2. Access Size

Satisfactory

3. Clearance

Satisfactory

4. Inaccessible Areas

Yes

There are areas under the structure that are no readily accessible to the inspector due to floor insulation and or mechanical components/structure design. There is no removal of insulation during this visual non-invasive inspection. Gage inspection services is not responsible for abnormal conditions existing under insulated flooring and or inaccessible areas.

5. Debris/Trash

Yes

Refer to the current pest report

There is **cellulose** debris in sub the area which can attract wood destroying organisms that should be removed. Recommend referring to the current pest report for further comment/recommendations.

6. Moisture/Dampness

Satisfactory

There may be seasonal dampness

7. Vapor Barrier

None

Review the current pest report for expanded comment/recommendations, if any

8. Ventilation

Restricted

There is insulation that is blocking some of the under house vents. Recommend providing 24 inches of clearance from the vents to increase airflow.



Insulation blocking vents.

9. Proper Earth/Wood Clearance

Yes

The inspection of the crawlspace does not show any contact of earth to wood.

10. Wood Members

Satisfactory

Wood destroying organisms and or decay/fungal rot at any location within the subject property is not within the scope of this home inspection. This company is not a state licensed pest control company. Review the current pest report for any related conditions.

11. Cracks in Foundation

No

No significant horizontal, vertical cracks or deterioration is noted on the interior foundation walls. A visual evaluation of the raised concrete foundation walls was performed and appears to be in satisfactory condition.

12. Separation Over 1/4"

No

13. Sill Plate Anchors

Verified

The sill plate anchors were located and verified to be in place at accessible areas only at the time of this inspection. Sill plate anchors are fasteners that connect the sill plate to the concrete foundation. These anchors limit the framings ability to move independently on the foundation in the event of an earthquake. The inspector does not measure layout of sill plate anchor bolts or determine structural adequacy strength. Rust on metal framing components, including anchor bolts, joist hangers and nails is common. For information regarding this condition, consult with the appropriate specialist.

14. Method Of Inspection

Entrance

15. Insulation

Batten Insulation.

16. Pier Type And Condition

Concrete
Functional

17. Drainage/Sump Pumps

NA