

Gage Inspection Services

Property Inspection Report



202 Adele Ave, Rohnert Park, CA 94928
Inspection prepared for: Faith Schon
Real Estate Agent: Mary Haufler - Sothebys

Date of Inspection: 6/26/2018 Time: 9:00 AM
Age of Home: 1958 Size: 1662
Order ID: 134


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Gage Inspection Services

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Inspection Details		
Page 15 Item: 11	Carbon Monoxide	<p>Maintenance The combo smoke/CO detector in the main hallway was tested and not functioning. Recommend replacing the battery and retesting for proper function.</p>
Site concrete and paving		
Page 16 Item: 1	Driveway/Parking	<p>Maintenance Due to past cracking/settling the concrete driveway is in a deteriorated condition. Repairs/replacement is recommended to prevent potential tripping hazards. Contact a qualified concrete specialist for evaluation/recommendations.</p>
		
<p>Excessive cracking to driveway.</p>		
Page 16 Item: 2	Walkways	<p>Maintenance There is cracking/settling noted at the concrete walkways causing a potential tripping hazard. As a safety consideration patching/repairs are advised as needed. Contact a qualified concrete specialist for repairs.</p>



Cracking to walkways.

Exterior Structure

Page 17 Item: 7	Fascia Boards/Trim	<p>Attention There is cupped/warped/split trim at the exterior of the home. It is recommended to keep these areas properly painted and sealed as a preventative measure. Future repair/replacement may be needed.</p>
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Split trim at garage door.

Structure Perimeter Exterior

Page 19 Item: 9	Vegetation Clear From Structure	<p>No There is vegetation growing up against the exterior surface material. All vegetation should be trimmed at least 6-12 inches away from the structure to eliminate a common avenue for pest infestations or any damage to the exterior structure material.</p>
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Garage

Page 22 Item: 7	Floor Foundation	<p>Maintenance Excessive cracking has been noted at the garage floor. Recommend contacting the appropriate specialist for evaluation/recommendations.</p>
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Cracking at garage floor.

Page 23 Item: 9	Firewall	<p>Maintenance There are gaps around pipes/cables/ducting at the wall between the garage and living space. It is advised to use a fire rated caulking to seal around any gaps in the wall as a health and safety consideration.</p>
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Seal all holes at firewall.

Page 23 Item: 11	Moisture Penetration	<p>Attention There is moisture staining at the ceiling of the garage indicating past moisture intrusion. The area was dry at the time of the inspection and no major adverse conditions were noted. We recommend monitoring this area during the rains to determine if repairs are needed.</p>
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Moisture staining at garage ceiling.

Roof

<p>Page 24 Item: 3</p>	<p>Moss/Mildew</p>	<p>Yes There is moss growth at the roof top. The inspector recommends removing the moss growth at some time in the future and treating the roof to prevent growth. Chemicals for preventing moss growth can be purchased at a local home improvement store. There are companies who will clean the roof and apply a material that will prevent moss growth for a number of years.</p>
<p>Page 24 Item: 6</p>	<p>Cover Material Condition</p>	<p>Maintenance There is a portion of the roof at the front side of the home that is showing excessive wear. We recommend contacting a qualified roofing contractor for evaluation/recommendations. There are brackets installed at the roof top with exposed fasteners. The purpose of the brackets is unknown. It is recommended to remove the brackets and sealed any penetrations at the roof top. Contact a qualified roofing contractor for evaluation.</p>



Worn section of roofing shingles.



Exposed fasteners at brackets.

Page 25 Item: 7

Ridges

Attention

There are exposed fasteners at the ridge shingles. It is recommended to keep these areas properly caulked and sealed as a preventative measure. Contact a qualified roofing contractor for repairs.



Exposed fasteners at ridge shingles.



Exposed ridge fasteners.

Page 25 Item: 10

Vents/Chimneys/Covers

Maintenance

The main electrical service drop at the roof top does not have a storm collar installed and is not currently sealed. Recommend sealing this area with a roofing mastic material to prevent potential leaking.



Seal around main electrical drop.

Page 26 Item: 11

Gutters/Downspouts

Attention

There are downspouts that are draining at the foundation perimeter which can allow for water penetration into the crawl space. Recommend installing drain pipe extender or splash blocks to help divert water away from the structure.



Gutters draining at foundation wall.

Electrical

Page 29 Item: 9

Receptacle Ground Verify

Attention

The inspector has discovered on or more three prong 110 volt outlets that do not have a correct ground in the bedrooms. For more information on ground receptacles contact a qualified electrician for evaluation.

Page 30 Item: 12	Outlets, Switches, Junction Boxes, Lighting	<p>Maintenance</p> <p>Unprotected non metallic sheathed cable was noted at the garage. Electrical cable is subject to physical damage and is typically installed in attics and inside walls. Repairs should be made to properly protect the wiring system inside conduit. Contact a qualified electrician for repairs.</p> <p>All damaged or missing cover plates should be replaced with new cover plates to restore proper function and reduce the risk of electrical shorts and hazardous shocks. There is a missing cover plate under the kitchen sink.</p>
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Unprotected romex in garage.



Missing cover plate under the kitchen sink.

Living Room

Page 34 Item: 3	Ceiling/Walls/Doors	<p>Attention</p> <p>There is patching and sagging ceilings at the living room. Due to the lack of attic space this area was not accessible for inspection. We recommend contacting a qualified contractor for evaluation.</p>
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Sagging ceiling in living room.



Patch marks at living room ceiling.

Kitchen

Page 35 Item: 10	Stove Exhaust Filter	<p>Attention The grease filter(s) on the exhaust fan needs to be replaced or cleaned. This should be done on a regular basis as part of preventative home maintenance.</p>
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Clean stove top filters.

Page 36 Item: 17	Counter Tops	<p>Attention There are swollen counter tops at the seam from past moisture intrusion. It is recommended to keep these areas properly sealed to prevent deterioration.</p>
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swollen kitchen counter top.

Laundry

Page 38 Item: 6	Drains	<p>Attention There was no test performed of the washing machine drain line. There are indications of past leaking from the drain line and sheet rock damage noted. The inspector recommends testing the drain function prior to occupying the home to prevent any potential water damage and desired drainage.</p>
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Indications of past leaking washing machine drain line.

Bathrooms

Page 41 Item: 9	Water Resistant Wall Cover	<p>Maintenance There are cracked tiles and grout voids were noted around the hall bathroom shower tile wall. This is a condition that can lead to moisture intrusion and deterioration. Regrouting and replacing damaged tiles is recommended to prevent potential moisture intrusion.</p>
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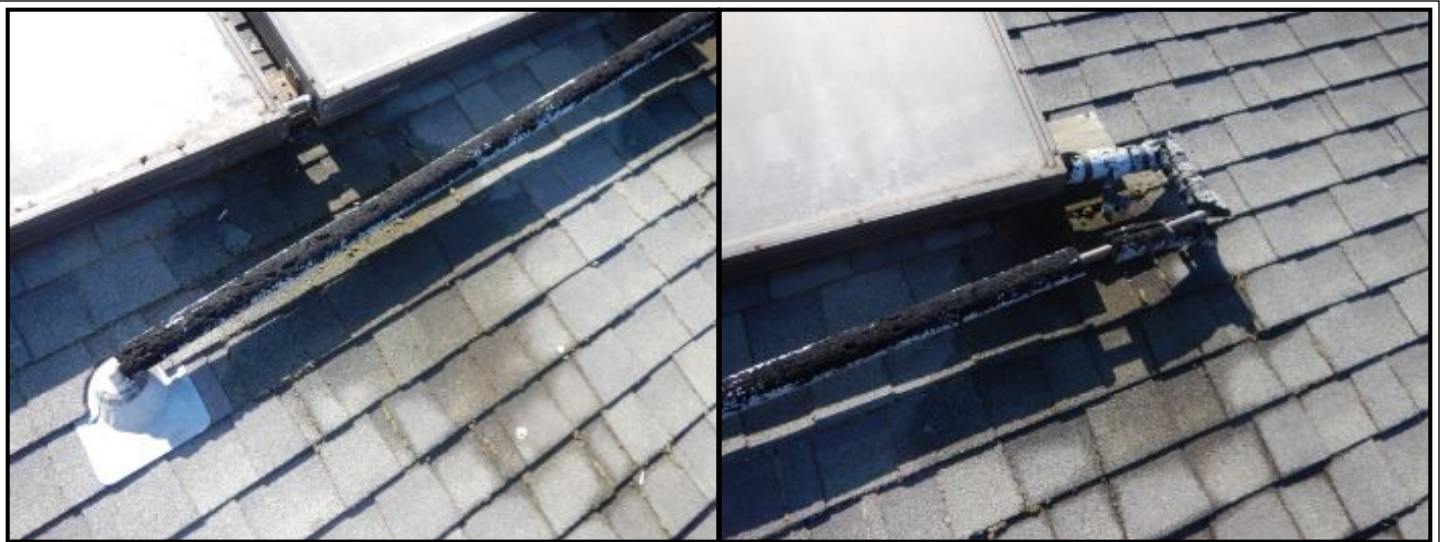
Cracked tiles at bathroom shower.



Cracked tiles at bathroom shower.

Water Heater

Page 44 Item: 5	Evidence of leaks	<p>Yes The roof top water heater solar panels are leaking. This system is outside the scope of the inspection. We recommend referring to the appropriate specialist for evaluation/recommendations.</p>
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Leaking from roof top water heater solar panels. Leaking from roof top water heater solar panels.

Page 45 Item: 12	Installation	<p>Maintenance The garage water heater is not installed on a raised platform. Do not store gasoline or fuel equipment in the garage until installation modifications is performed. Future installation on a raised platform so that the burner is a minimum of 18" above the floor is recommended as a safety consideration.</p>
Heating System		
Page 47 Item: 10	Ducts/Returns	<p>Maintenance</p> <p>There are gaps around the floor heat registers. It is recommended to seal around the registers with an HVAC foil tape to help with the heating/cooling efficiency of the home.</p> <p>The return air ducting in the attic is disconnected. Repairs are needed to prevent pulling air from the attic. Contact a qualified HVAC contractor for repairs.</p> <p>There are heating ducts that are sitting on the ground in the sub area. It is advised to strap the ducting to the floor area framing if possible to prevent contact with the ground and potential damage.</p>



Seal gaps around the floor heat registers.



Disconnected air return in attic.



Heating ducts sitting on ground in sub area.

Attic

Page 49 Item: 9

Ventilation

Attention

Discoloration was noted to wood members in the attic indicating a lack of ventilation. Recommend adding additional ventilation to the attic. Contact a qualified roofing contractor for evaluation/recommendations.



Discoloration to framing in attic.

Raised Foundation

Page 51 Item: 6	Moisture/Dampness	<p>Attention Moisture staining was noted at areas of the concrete foundation wall indicating past standing water. Seasonal water is not uncommon in crawl spaces. It is recommended to monitor the sub area during the rainy season to determine if additional drainage or sump pump installation is needed.</p>
Page 52 Item: 16	Pier Type And Condition	<p>Concrete Shims were noted to wood posts on top of concrete piers in the sub area indicating past movement/settlement of the structure in the past. The post were not attached to the concrete pier. We recommend contacting a qualified contractor for evaluation/recommendations.</p>



Shims used at concrete piers.

Inspection Details

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

1. Weather

Sunny

2. Attendance

Client Present
Selling Agent Present

3. Occupancy

Occupied-Furnished

Access to some itmes such as: electrical outlets/receptacles, windows, wall/floor surface, and cabinet interios may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

4. Description

Wood framed

1)The inspector as a part of the inspection, is NOT required to determine installation guidelines, structural calculations, unstable geological conditions, presence of any hazardous material such as lead and asbestos, manufacturers specifications (or recalls) and building codes, or detect the presence of Chinese Drywall or its potential problems, outbuildings, septic systems and or sewer pumps, well systems/alternative water systems or water quality testing, solariums, the presence of wood destroying organisms or fungal rot, condition of floor coverings, conditions relating to animals, rodents, or other household pets or the damage caused therby, cosmetic items, including without limitation, paint, scratches, scrapes, dents, cracks, stains or faded surface, remove appliances, remove insulation, operation of window coverings, operation of free standing appliances, automatic window coverings, inspect furnace heat exchangers, radiant/hydronic heating systems or specialized heating systems, sauna/steam bathroom function, music systems, central vacuum funtion, structural engineering calculations or deficiencies, unstable geological conditions or soil contamination, solar system function and or alternative power source. This is a visual non-invasive inspection as per industry standards. We cannot assume responsibility for hidden latent defects or quality of workmanship. Please carefully read all transfer disclosures as the inspector does not have or is required to have access to transfer disclosures, current or past litigation issues and any previous inspection reports. Gage Inspection Services reserves the right to review any visual defect not disclosed in this inspection withing the standard of practice prior to repair. If repairs are performed on alleged items not included in this report prior without notifying this insepction company for evaluation

2)Some bio-organic organisms (molds) are known to produce toxins that produce toxic responses with sufficient exposure. Structure toxic bio-organic detection and testing is NOT within the scope of this home inspection as Gage Inspection Services is not a certified professional bio-organic expert and or industrial hygienist. If parties of interest desire information contact a qualified industrial hygienist prior to the end of the contingency/inspection period.

3) All conditions in this inspection report are as of the time and day of the inspection. The home inspection is performed withing the scope of the ASHI standards of practice. Please review the Standards of practice at www.ASHI.org.

5. Approx. Year Built

Refer to disclosures.

6. Floors

1

7. Bedrooms

4

8. Bathrooms

2

9. Other Rooms

LR

10. Smoke Detectors

Yes

There are smoke detectors installed. Recommend testing the system prior to occupying the home and every month to identify functional operation of the detectors. If applicable, tall ceiling height installation may not be accessible for testing. The national fire protection association recommends that a CO alarm should be centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms. For added protection, install additional CO alarms in each separate bedroom prior to occupancy.

11. Carbon Monoxide

Maintenance

The combo smoke/CO detector in the main hallway was tested and not functioning. Recommend replacing the battery and retesting for proper function.

12. Furniture Storage

Average

The inspector is not required to move furniture, personal, or stored items; lift floor coverings, or panels; or perform any test or procedures which could damage or destroy the item being evaluated. The determination of or damage caused by termites, any wood damage insects or organism is excluded. Gage Inspection Services is not a state licensed pest control company.

13. Floor Structure

Post/Girder

14. Ceiling Structure

Wood framing

15. Roof Structure

Wood trusses

16. Interior Stairway Structure

NA

Site concrete and paving

1. Driveway/Parking

Maintenance

Due to past cracking/settling the concrete driveway is in a deteriorated condition. Repairs/replacement is recommended to prevent potential tripping hazards. Contact a qualified concrete specialist for evaluation/recommendations.



Excessive cracking to driveway.

2. Walkways

Maintenance

There is cracking/settling noted at the concrete walkways causing a potential tripping hazard. As a safety consideration patching/repairs are advised as needed. Contact a qualified concrete specialist for repairs.



Cracking to walkways.

3. Steps

Functional

Exterior Structure

This section describes the exterior wall coverings and trim. Inspectors are required to inspect the exterior wall coverings, flashing, trim, all exterior doors, the stoops, steps porches and their associated railings, any attached decks and balconies and eaves, soffits and fascias accessible from ground level.

1. Siding Material

Vinyl

Under-lying flashings to prevent moisture intrusion cannot be observed. Water testing and invasive inspection is not within the scope of this inspection. Refer to owner or disclosures for any issue with moisture intrusion if any.

2. Siding Condition

Satisfactory

3. Painted Surfaces

Satisfactory

4. Window Glass

Functional

5. Caulking/Structure

Satisfactory

6. Eave/Soffit Areas

Satisfactory

Due to the siding material the eaves are not visible for inspection.

7. Fascia Boards/Trim

Attention

There is cupped/warped/split trim at the exterior of the home. It is recommended to keep these areas properly painted and sealed as a preventative measure. Future repair/replacement may be needed.



Split trim at garage door.

8. Window Screens

Functional

9. Double Pane Seals/Insulating Windows

Satisfactory

At the time of the inspection the double pane insulating window seals were inspected and appeared to be in functional condition. The visual inspection of the windows may not disclose seals that have lost their vacuum seal in between the panes of glass. The deficiency is sometimes only visible under certain climatic conditions. The inspector may not be able to determine dirty or water stained windows as evidence of failed vacuum seals. This inspection company does not warranty double pane windows. Under-lying flashings and proper installation cannot be observed and or determined. Water testing is not within the scope of this inspection.

10. Address Identification

Satisfactory

11. Watering System

Not tested

If installed, sprinkler and related irrigation systems are not within the scope of a home inspection.

12. Retaining Walls

NA

Structure Perimeter Exterior

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building.

1. Foundation Material

Concrete

2. Vent Screens

Functional

There are louvered vents installed. These types of vents are considered to be restrictive. Future replacement with screens is recommended to improve ventilation to the sub area.

3. Visible Cracks

Not visible

4. Evidence of separation over 1/4"

No

The visual inspection of the exterior of the foundation did not reveal cracking in the foundation system with openings in excess of 1/4" in separation

5. Evidence of movement

No

6. Site Drainage

Nearly flat

The site property appears to be nearly flat. There may be areas of ponding water during the winter months. Home owner is advised to monitor the exterior and sub are if applicable during the winter months and perform any drainage maintenance necessary. It is recommended to provide and maintain positive fall/slope away from the perimeter foundation. Parties of interest should inquire with the owner and review the transfer disclosure as to any past or current drainage issues.

7. Evidence of erosion

No

8. Proper earth/wood clearance

Yes

It is recommended providing at least 4-6 inches of clearance between the earth and wood siding material as a preventative maintenance measure.

9. Vegetation Clear From Structure

No

There is vegetation growing up against the exterior surface material. All vegetation should be trimmed at least 6-12 inches away from the structure to eliminate a common avenue for pest infestations or any damage to the exterior structure material.

Patios/Decking/Porches

1. Surface

Concrete patio

2. Railings

NA

3. Steps/Handrails

Functional

4. Electrical Service

Yes

5. Weather Protective Covers

Yes

6. Lights

Functional

7. Cover/Enclosure

Functional

Fence/Gates

1. Fences

Functional

2. Gates

Functional

3. Locks/Latches

Functional

Garage

1. Size

2 Car

2. Garage Door

Functional

The garage door was tested and appears functional. Installation specifications are unknown and verification is not within the scope of this inspection.

3. Garage Door Seal

Functional

There is a garage door seal installed to help keep moisture and rodents out of the garage area.

4. Automatic Opener

Functional

The automatic garage door opener was identified to be in working order at the time of the inspection. Installation specifications are unknown and verification is not within the scope of the home inspection.

5. Springs/Mounts

Functional

Installation specifications is not within the scope of this inspection.

6. Safety Operation

Functional

The garage door pressure reverse safety feature and automatic reversing eyes have been checked and are operating as intended

7. Floor Foundation

Maintenance

Excessive cracking has been noted at the garage floor. Recommend contacting the appropriate specialist for evaluation/recommendations.



Cracking at garage floor.

8. Lighting

Functional

9. Firewall

Maintenance

There are gaps around pipes/cables/ducting at the wall between the garage and living space. It is advised to use a fire rated caulking to seal around any gaps in the wall as a health and safety consideration.



Seal all holes at firewall.

10. Door(s) Garage-Building

Functional

The door from the building to the the garage is a fire rated self closing door. Self closing hinges will need periodic adjustments for proper function.

11. Moisture Penetration

Attention

There is moisture staining at the ceiling of the garage indicating past moisture intrusion. The area was dry at the time of the inspection and no major adverse conditions were noted. We recommend monitoring this area during the rains to determine if repairs are needed.



Moisture staining at garage ceiling.

Roof

1. Roof Cover Material

Composition shingles

2. Roof Type

Pitched

3. Moss/Mildew

Yes

There is moss growth at the roof top. The inspector recommends removing the moss growth at some time in the future and treating the roof to prevent growth. Chemicals for preventing moss growth can be purchased at a local home improvement store. There are companies who will clean the roof and apply a material that will prevent moss growth for a number of years.

4. Debris on Roof

No

There was no debris build up on the roof at the time of the inspection. Debris build up should be cleaned off the roof surface on an annual basis as a proper care and maintenance recommendation.

5. Cover

Materials: 1 Layer

6. Cover Material Condition

Maintenance

There is a portion of the roof at the front side of the home that is showing excessive wear. We recommend contacting a qualified roofing contractor for evaluation/recommendations.

There are brackets installed at the roof top with exposed fasteners. The purpose of the brackets is unknown. It is recommended to remove the brackets and sealed any penetrations at the roof top. Contact a qualified roofing contractor for evaluation.



Worn section of roofing shingles.



Exposed fasteners at brackets.

7. Ridges

Attention

There are exposed fasteners at the ridge shingles. It is recommended to keep these areas properly caulked and sealed as a preventative measure. Contact a qualified roofing contractor for repairs.



Exposed fasteners at ridge shingles.



Exposed ridge fasteners.

8. Valleys

Functional

9. Flashings/Caulking

Functional

Proper care and maintenance recommendations:

The inspector recommends that the caulking around the chimneys, roof vents and flashing material be inspected and touched up on an annual basis. Rain water leaking into the main structure from the roof is a common and avoidable condition of deteriorated flashing and caulking. The cost and time involved in upkeep is minimal as long as it is maintained on an annual basis.

10. Vents/Chimneys/Covers

Maintenance

The main electrical service drop at the roof top does not have a storm collar installed and is not currently sealed. Recommend sealing this area with a roofing mastic material to prevent potential leaking.



Seal around main electrical drop.

11. Gutters/Downspouts

Attention

There are downspout that are draining at the foundation perimeter which can allow for water penetration into the crawl space. Recommend installing drain pipe extender or splash blocks to help divert water away from the structure.



Gutters draining at foundation wall.

12. Indications of leaking

No

13. Soft Spots

No

14. Separate Certification Recommended

Yes

15. Roof Evaluated From

Walked roof surface

16. Skylights

Functional

Utility Services

1. Electrical Services

Overhead

2. Water Source

City

3. Water Meter Location

Sidewalk

4. Water Shutoff

Front of home

5. Sewer

City

Underground conditions are not within the scope of this inspection.

6. Sewer Clean Out Location

Not located. Refer to seller

7. Gas Service

Natural

8. Gas Odors Noted

No

9. Service Shutoff

At the meter. Home owner is advised to have a gas meter wrench nearby to shut the gas off in the event of an earthquake and gas odors are evident.

10. Vents/Exhaust

Satisfactory

11. Carbon Monoxide

Not tested

This building has fossil fuel and or solid fuel burning systems that have the potential to generate carbon monoxide. Carbon monoxide is a colorless, odorless gas that can cause serious injury or death. Testing for carbon monoxide (CO) is not within the scope of this home inspection. We recommend CO detectors be installed in the hallway, every bedroom/living area of the structure, according to manufacturers instructions prior to occupancy and that fossil fuel-fire/gas appliance be serviced prior to occupancy as per manufacturers instructions.

Electrical

This report describes the amperage and voltage rating of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors and wiring methods. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Panel/Sub Panel Locations

Exterior

2. Service Size (Amps)

100 Amp

3. Over Current Devices

Breakers

Overload protection is provided by breakers for this structure. Know how to reset a circuit breaker. After turning off or unplugging appliances on the circuit, push the switch firmly to the off position, then back on. If the overload is cleared, the electricity will come back. If your circuit breakers trip off repeatedly, there could be a problem with the appliance on that circuit. If the appliances are unplugged but the circuit breaker trips off again, call an electrician. The inspector is not required to operate overload devices.

4. Panel To Structure

Copper

5. Panel Cover Removed

Yes

There is a missing screw at the electrical panel cover. Recommend properly labeling the breakers for easy identification.

6. Open Breaker Slots At Panel

No

7. Breaker Configuration

Satisfactory

8. Wire-Over Current Compatibility

Satisfactory

9. Receptacle Ground Verify

Attention

The inspector has discovered on or more three prong 110 volt outlets that do not have a correct ground in the bedrooms. For more information on ground receptacles contact a qualified electrician for evaluation.

10. GFCI Protection

Yes

It is recommended that ground fault interrupters (**GFCI**) be located in areas where there is a potential danger of electrical shock. This property has GFCI receptacles. Recommend testing monthly as these devices are susceptible to mechanical failure. It is not recommended to plug in refrigerators or freezers to any GFCI receptacle as food loss may occur in the event the receptacle trips or mechanically fails. Recommend testing monthly as a safety consideration.

11. Service Ground Verify

NA

The inspector is not required to verify continuity of connected service grounds.

12. Outlets, Switches, Junction Boxes, Lighting

Maintenance

Unprotected non metallic sheathed cable was noted at the garage. Electrical cable is subject to physical damage and is typically installed in attics and inside walls. Repairs should be made to properly protect the wiring system inside conduit. Contact a qualified electrician for repairs.

All damaged or missing cover plates should be replaced with new cover plates to restore proper function and reduce the risk of electrical shorts and hazardous shocks. There is a missing cover plate under the kitchen sink.



Unprotected romex in garage.



Missing cover plate under the kitchen sink.

13. Wire Method

Romex

14. Arc Fault Breakers

Installed

Arc fault breakers are protected receptacles installed in bedrooms designed to trip in the event of an arcing crimped plug cord due to a bed or dresser. Industry standards since 2004 require this installation. Consult with a qualified electrician for evaluation.

Plumbing

1. Service Size To Structure

3/4"

2. Structure Pipe Material

Copper

3. Waste Pipe Material

Plastic
Galvanized

4. Pipe Rumble Noise

No

5. Surge Bangs

No

6. Encrustations Evident

No
Encrustations (readily visible deposits at the pipe connections) are an early indications of a developing leak. There were no encrustaitons visible that would indicate a developing leak.

7. Water Pipe Insulation

No

8. Evidence Of Leaks

No
An inspection of the readily accessible sections of the plumbing water supply, waste lines, faucets and fixtures identified no visible leaks that require repair at this time. A program of regular inspection by the homeowner should be considered in order to identify and visible leaks prior to causing any substantial damage.

9. Interior Water Flow

Functional
The inspector opened and closed both hot and cold water at multiple faucets, basins and fixtures simultaneously. Little or no pressure drop resulted indicating water pressure is functional at the time of the inspection. Preferred water pressure can be subjective.

10. Exterior Water Flow

Functional
Average city water pressure is 40-75 psi. If the water pressure exceeds 80psi. the inspector recommends to install an exterior pressure reducer or adjust the existing pressure reducer if installed.

Main Entry

1. Correct Application

Functional

It is recommended to change locks after occupying the home.

2. Door Fit

Functional

3. Finish

Functional

4. Weather Stripping

Functional

5. Dead Bolts

Yes

6. Door Bell

Functional

7. Lighting

Functional

Other Ext. Entry Doors

1. Location

LR
DR

2. Correct Applications

Yes

3. Finishes

Functional

4. Door Fit

Functional

5. Weather Stripping

Functional

6. Screen Door

Functional

7. Locks

Functional

8. Sliding Glass Door/Safety

Functional

Living Room

1. Floor

Functional

Carpets and floor covering condition is out side the scope of this inspection.

2. Windows

Functional

3. Ceiling/Walls/Doors

Attention

There is patching and sagging ceilings at the living room. Due to the lack of attic space this area was not accessible for inspection. We recommend contacting a qualified contractor for evaluation.



Sagging ceiling in living room.



Patch marks at living room ceiling.

Kitchen

1. Floor Cover Material

Satisfactory

2. Ceilings/Walls/Doors

Satisfactory

3. Window

Functional

4. Lighting

Functional

5. Drawers/Doors

Functional

Cabinets/doors are typically in need of periodic adjustments.

6. Under Sink

Satisfactory

7. Sink/Faucet Leak

No

At the time of the inspection there was no sink or faucet leaks observed.

8. Drains Appear Clear

Yes

9. Stove exhaust Fan

Functional

10. Stove Exhaust Filter

Attention

The grease filter(s) on the exhaust fan needs to be replaced or cleaned. This should be done on a regular basis as part of preventative home maintenance.



Clean stove top filters.

11. Stove/Cook Top

Electric

12. Cooktop/Burners

Functional

13. Controls

Functional

14. Oven

Electric

The oven temperature accuracy is not within the scope of this inspection.

15. Over Operation

Functional

16. Oven Appearance/Condition

Satisfactory

17. Counter Tops**Attention**

There are swollen counter tops at the seam from past moisture intrusion. It is recommended to keep these areas properly sealed to prevent deterioration.



swollen kitchen counter top.

18. Garbage Disposal

Functional

The garbage disposal appears to be operations at this time. On/off tested was performed only. The grinding capability was not determined at the time of inspection.

19. Dishwasher

Functional

The dishwasher appears to be functioning. An on/off of the dishwasher was performed to determine if it is operation. A full cycle check is often not possible in the time of this inspection; therefore we cannot comment on the full extent of its functions or its ability to clean. it is recommended to inquire with the seller as to the function or run and observe a full cycle prior to occupying the home to determine any leaks of malfunction.

20. Refrigerator

Functional

21. Kitchen Fixtures

Functional

22. Built In Microwave

Functional

Laundry

1. Location

Garage

2. Washer Hookup

Yes

3. Dryer Hookup

Yes

4. Gas Service

Yes

Recommend capping off the gas line if not used.

5. 240V Electrical Service

Yes

There is a 220V installed. However the function was not determined.

6. Drains

Attention

There was no test performed of the washing machine drain line. There are indications of past leaking from the drain line and sheet rock damage noted. The inspector recommends testing the drain function prior to occupying the home to prevent any potential water damage and desired drainage.



Indications of past leaking washing machine drain line.

7. Wash Basin

NA

8. Dryer Vent

Functional

9. Ventilation

Satisfactory

10. Counters

NA

11. Floors/Walls/Ceilings/Doors

NA

12. Windows

NA

Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Floors

Functional

2. Doors

Functional

3. Walls/Ceilings

Satisfactory

4. Window

Functional

Bathrooms

Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Locations

Guest/Master

2. Floors

Satisfactory

3. Ceiling/Walls/Doors

Satisfactory

4. Basin Fixtures

Functional

At the time of the inspection all bathroom water fixtures were tested and functioning.

5. Basin Drain

Functional

At the time of the inspection the basin drains were flowing freely.

6. Shower Fixtures

Functional

At the time of the inspection the shower fixtures were tested and functioning.

7. Shower Head

Functional

At the time of the inspection the shower heads were properly functioning.

8. Shower Enclosures

Functional

The shower enclosure appears to be in serviceable condition.

9. Water Resistant Wall Cover

Maintenance

There are cracked tiles and grout voids were noted around the hall bathroom shower tile wall. This is a condition that can lead to moisture intrusion and deterioration. Regrouting and replacing damaged tiles is recommended to prevent potential moisture intrusion.



Cracked tiles at bathroom shower.



Cracked tiles at bathroom shower.

10. Caulking Water Exposed Areas

Satisfactory

The caulking in the bathroom appears to be providing adequate protection to the structure. Water leaking through non sealed areas can cause structural damage. Caulking should be maintained to continue protection. Refer to the current pest report for comment.

11. Tubs

Functional

Quantity/adequacy of the hot water supply to fill the tub and other multiple demand was not determined. Refer to the appropriate trades person or manufacturers specifications.

12. Tub Fixtures

Functional

13. Tub/Shower Drain

Functional

At the time of the inspection the tub/shower drain seemed to be draining freely.

14. Toilet

Functional

Home maintenance should include periodic tightening of the toilet to prevent damage from a potential leak. Recommend resetting toilet on a new wax ring every five years

15. Ventilation

Satisfactory

Ventilation is provided by a ceiling exhaust fan and is in operable condition.

16. Mildew Noted

No

17. Heating

Functional

18. Windows

Functional

19. Cabinets

Functional. As part of regular maintenance cabinets and doors will need periodic adjustments.

20. Counters

Satisfactory

Water Heater

1. Location

Garage

2. Type

Gas and solar.

3. Size

No visible notations.

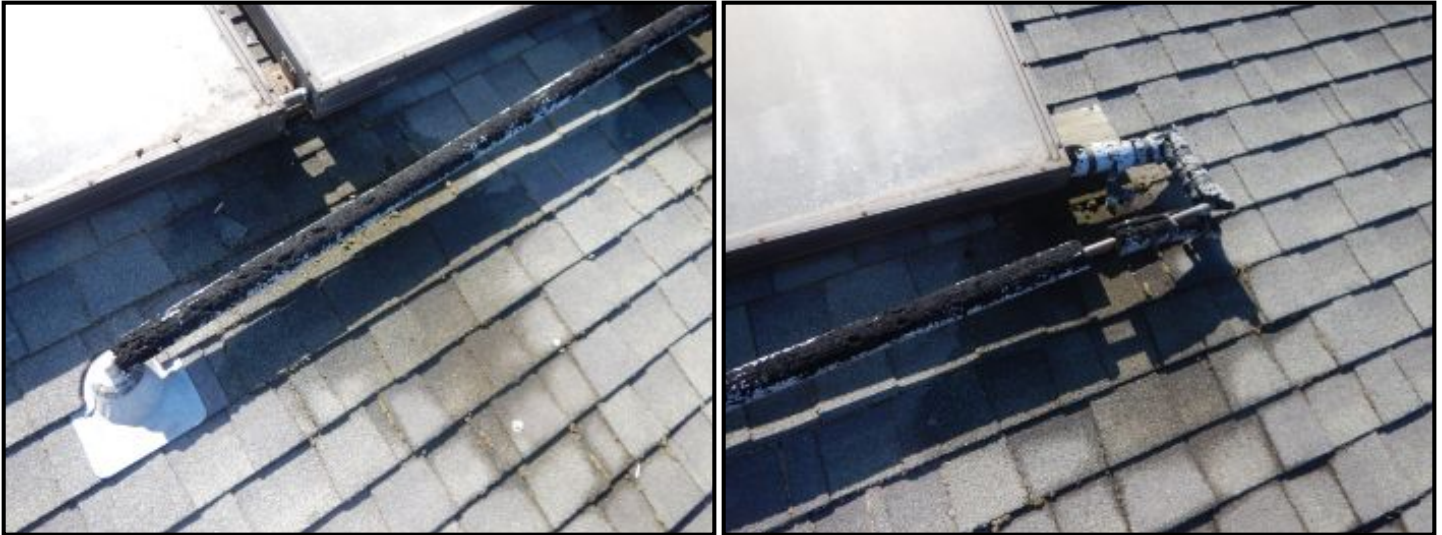
4. Encrustations Noted

No

5. Evidence of leaks

Yes

The roof top water heater solar panels are leaking. This system is outside the scope of the inspection. We recommend referring to the appropriate specialist for evaluation/recommendations.



Leaking from roof top water heater solar panels. Leaking from roof top water heater solar panels.

6. TPRV

Functional

A temperature pressure relief valve (TPRV) is present. This safety feature releases water (and thus relieves pressure) if either the temp or pressure in the tank gets too high. The **TPRV valve** discharge pipe must be made of copper, iron, or CPVC (not regular **PVC**). It must terminate within 6" above the ground and the end cannot be threaded or have a fitting.

7. Discharge Pipe

Functional

The water heater pressure relief valve is equipped with a proper discharge pipe.

8. Safety Tie Down

Functional

The water heater is installed with a seismic tie-downs system that in the opinion of the inspector should prevent damage to the system in the event of an earthquake.

9. Venting

Functional

10. Combustion

Functional

11. Insulation Blanket

Yes

Insulation blankets limit the visual inspection of the water heater tank. Suggest removing the blanket and inspecting the condition of the tank.

12. Installation**Maintenance**

The garage water heater is not installed on a raised platform. Do not store gasoline or fuel equipment in the garage until installation modifications is performed. Future installation on a raised platform so that the burner is a minimum of 18" above the floor is recommended as a safety consideration.

Heating System

1. System Type(s) info

Gas fired furnace

Force air furnaces operate by heating a stream of air moved by a blower through a system of ducts. Important elements of the system include the heat exchanger, exhaust venting, blower, controls and ducts. Our evaluation is limited to inspection of the visible components and their basic function. Evaluation of efficiency and or adequacy of the system is not within the scope of this inspection. Such an evaluation requires more exhaustive testing and analysis.

2. Location

Observations: Garage

Brand: Goodman

Year: 2006

Input: 100,000 BTU

3. Thermostat Location

Hallway

4. Thermostat Condition

Functional

5. On/Off Check

Functional

6. Operation Noise

Satisfactory

7. TPR Valve

NA

8. Filter Condition

Satisfactory

The inspector recommends changing the furnace filter 3-4 times a year.



No filter installed at air return.

9. Vents/Flues

Functional

Review all gas appliances, intake and exhaust venting by PG&E or a qualified HVAC contractor prior to taking occupancy as a health and safety consideration.

10. Ducts/Returns

Maintenance

There are gaps around the floor heat registers. It is recommended to seal around the registers with an HVAC foil tape to help with the heating/cooling efficiency of the home.

The return air ducting in the attic is disconnected. Repairs are needed to prevent pulling air from the attic. Contact a qualified HVAC contractor for repairs.

There are heating ducts that are sitting on the ground in the sub area. It is advised to strap the ducting to the floor area framing if possible to prevent contact with the ground and potential damage.



Seal gaps around the floor heat registers.



Disconnected air return in attic.



Heating ducts sitting on ground in sub area.

11. Non-Heated Areas

None

12. Service Notes/Filter Size

None visible

The last service date on the sticker is dated to 5/18/15. Refer to the owner for service records. If the unit has not been serviced on an annual basis, contact a qualified HVAC contractor for diagnostic/installation evaluation. The inspector is not required to inspect the heat exchanger. This is a technically exhaust procedure. This inspection company is not a certified heating technician company,

Attic

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Attic Access

Hallway

2. Access

Satisfactory

3. Attic Evaluated By

Inspected from the attic access

4. Inaccessible Areas

Yes

There are inaccessible structure cavities evident from the attic and there are areas of the attic which are inaccessible due to reduce clearance, insulation, design, or obstruction by structural members and or mechanical apparatus.

5. Roof Inspect From Underside

Yes

The visual areas of the underside of the accessible areas of the roof were inspected.

6. Exposed Rafters Sheathing

Yes

7. Framing Condition

Functional

8. Visible Light

No

9. Ventilation

Attention

Discoloration was noted to wood members in the attic indicating a lack or ventilation. Recommend adding additional ventilation to the attic. Contact a qualified roofing contractor for evaluation/recommendations.



Discoloration to framing in attic.

10. Insulation

Insulation Batts

11. Ducting

Satisfactory

12. Rodent Activity

No

Raised Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Access Location

Bedroom closet

2. Access Size

Satisfactory

3. Clearance

Satisfactory

4. Inaccessible Areas

Yes

There are areas under the structure that are no readily accessible to the inspector due to floor insulation and or mechanical components/structure design. There is no removal of insulation during this visual non-invasive inspection. Gage inspection services is not responsible for abnormal conditions existing under insulated flooring and or inaccessible areas.

5. Debris/Trash

Yes

Refer to the current pest report

6. Moisture/Dampness

Attention

Moisture staining was noted at areas of the concrete foundation wall indicating past standing water. Seasonal water is not uncommon in crawl spaces. It is recommended to monitor the sub area during the rainy season to determine if additional drainage or sump pump installation is needed.

7. Vapor Barrier

None

Review the current pest report for expanded comment/recommendations, if any

8. Ventilation

Restricted

Review the current pest report for further comment.

9. Proper Earth/Wood Clearance

Yes

The inspection of the crawlspace does not show any contact of earth to wood.

10. Wood Members

Satisfactory

Wood destroying organisms and or decay/fungal rot at any location within the subject property is not within the scope of this home inspection. This company is not a state licensed pest control company. Review the current pest report for any related conditions.

11. Cracks in Foundation

No

No significant horizontal, vertical cracks or deterioration is noted on the interior foundation walls. A visual evaluation of the raised concrete foundation walls was performed and appears to be in satisfactory condition.

12. Separation Over 1/4"

No

13. Sill Plate Anchors

Verified

The sill plate anchors were located and verified to be in place at accessible areas only at the time of this inspection. Sill plate anchors are fasteners that connect the sill plate to the concrete foundation. These anchors limit the framings ability to move independently on the foundation in the event of an earthquake. The inspector does not measure layout of sill plate anchor bolts or determine structural adequacy strength. Rust on metal framing components, including anchor bolts, joist hangers and nails is common. For information regarding this condition, consult with the appropriate specialist.

14. Method Of Inspection

Entrance

15. Insulation

None

16. Pier Type And Condition

Concrete

Shims were noted to wood posts on top of concrete piers in the sub area indicating past movement/settlement of the structure in the past. The post were not attached to the concrete pier. We recommend contacting a qualified contractor for evaluation/recommendations.



Shims used at concrete piers.

17. Drainage/Sump Pumps

None